

REVISION

1	DA RFI ISSUE
2	DA RFI ISSUE

CLIENT

14.08.2023
15.12.2023

AZURE

ISSUE PURPOSE

DA

QUALITY ASSURANCE

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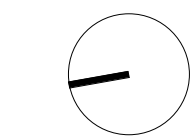
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DRAWN	DATE	CHECKED	JOB NO.
DF	15.12.2023	NJA	21 504



SCALE
1 : 200 @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE

Basement

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CONRAD GARGETT GROUP PTY LTD
ACN 636 465 373 ABN 81 636 465 373

REV. DRAWING NO.

2 DA 100

HABITAT DRIVE

BIO RETENTION BASIN
DRAINAGE RESERVE

GRAND PARADE

CASUARINA WAY

REVISION

1 DA RFI ISSUE
2 DA RFI ISSUE

CLIENT

14.08.2023
15.12.2023
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ISSUE PURPOSE

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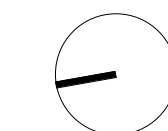
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PROJECT

6 GRAND PARADE BY AZURE
Level 01

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REV.	DRAWING NO.
2	DA 101

HABITAT DRIVE

BIO RETENTION BASIN
DRAINAGE RESERVE

GRAND PARADE

CASUARINA WAY

REVISION

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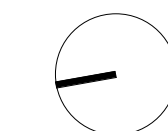
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PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE
Level 02

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REV.	DRAWING NO.
2	DA 102

HABITAT DRIVE

CASUARINA WAY

GRAND PARADE



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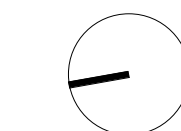
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PROJECT

6 GRAND PARADE BY AZURE
Level 03

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REV.	DRAWING NO.
2	DA 103

HABITAT DRIVE

CASUARINA WAY

GRAND PARADE



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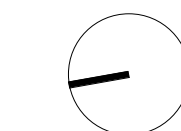
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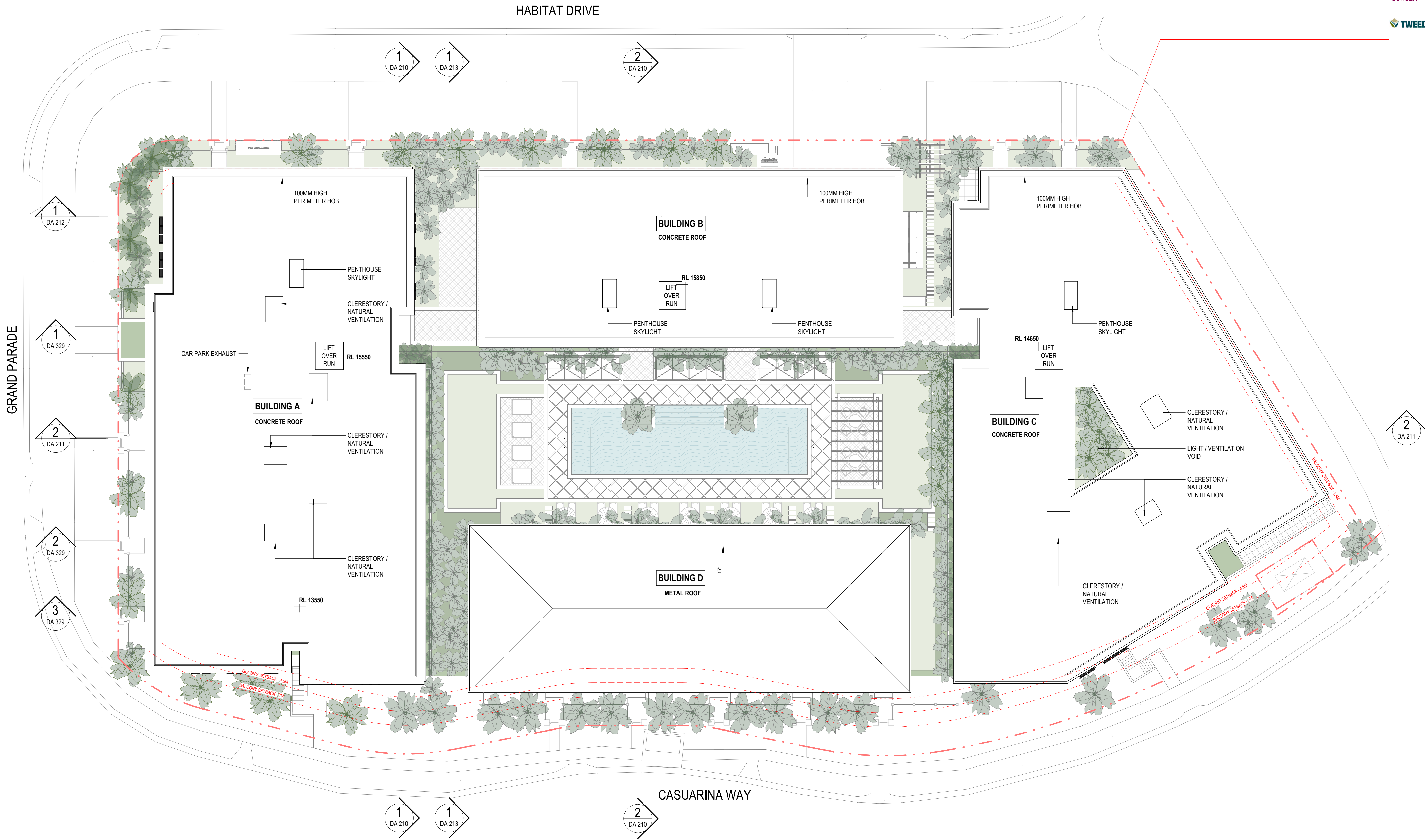
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Level 04

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SCALE
1 : 200 @ A1

PROJECT

6 GRAND PARADE BY AZURE

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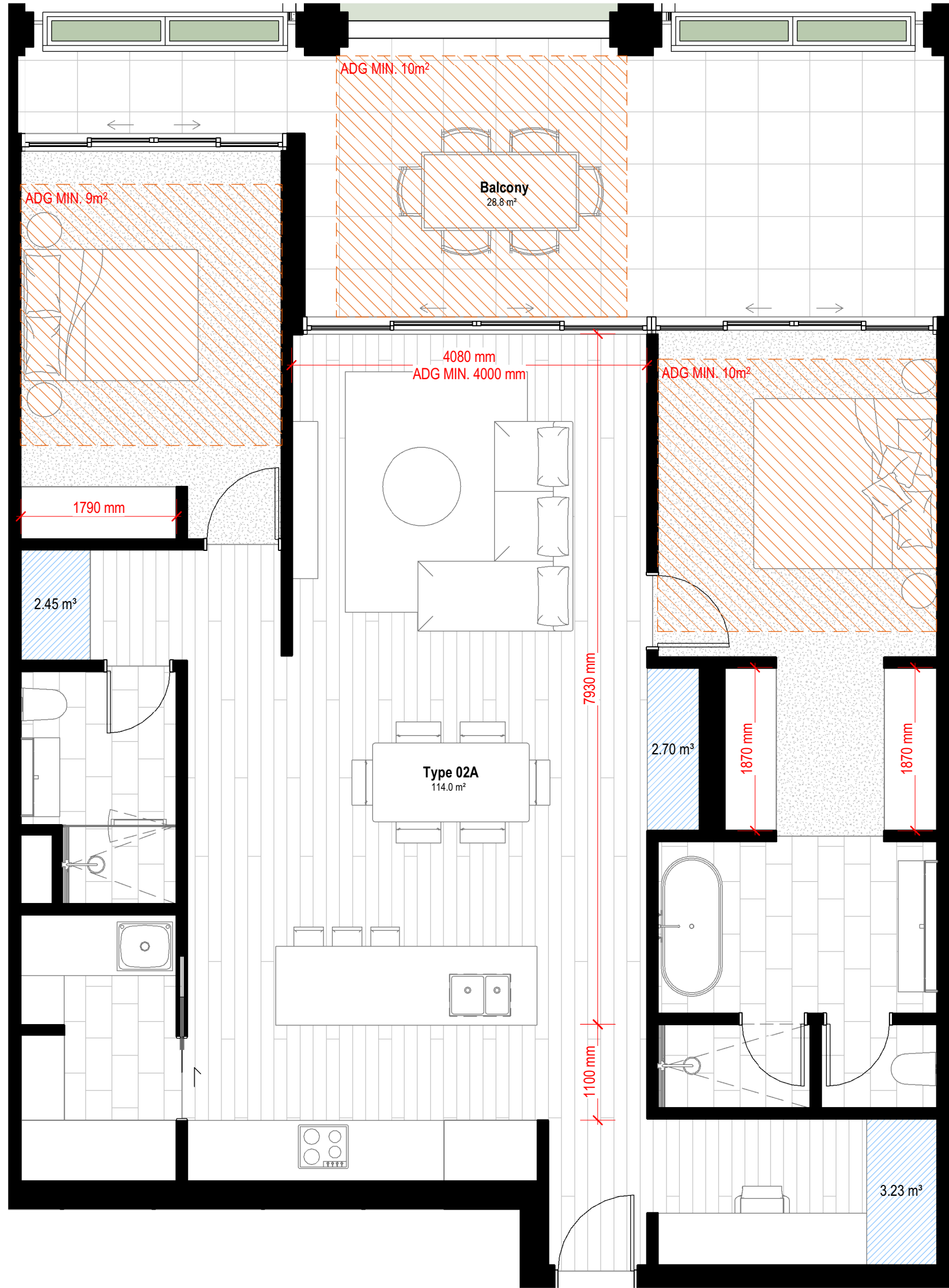
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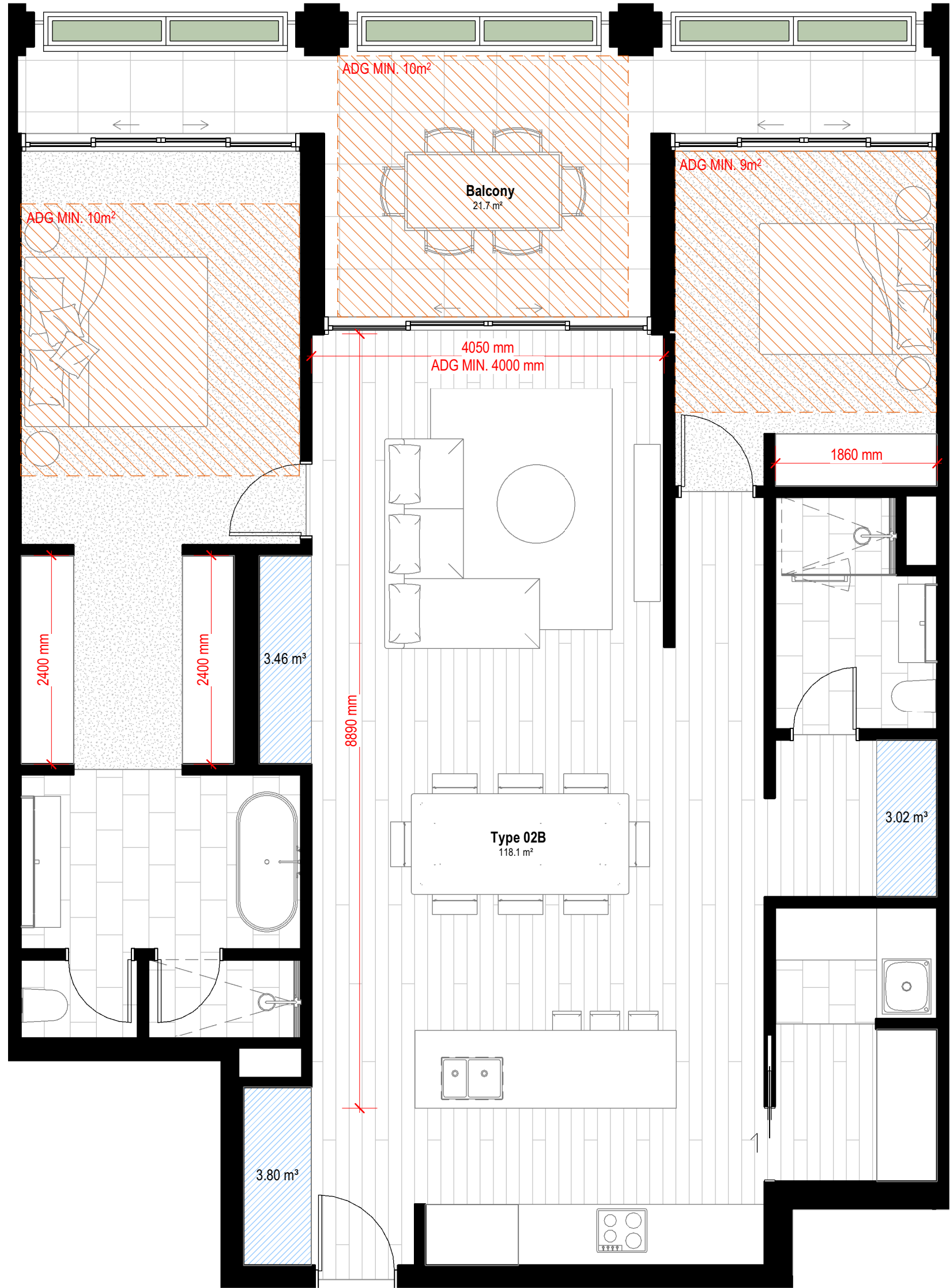
2 DA 105



1 BLDG A - Type 02A
1:50

Type 02A - Apartment Storage	
02A	2.45 m³
02A	2.70 m³
02A	3.23 m³
Grand total: 3	8.37 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



2 BLDG A - Type 02B
1:50

Type 02B - Apartment Storage	
02B	3.02 m³
02B	3.46 m³
02B	3.80 m³
Grand total: 3	10.28 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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SCALE

1 : 50 @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE

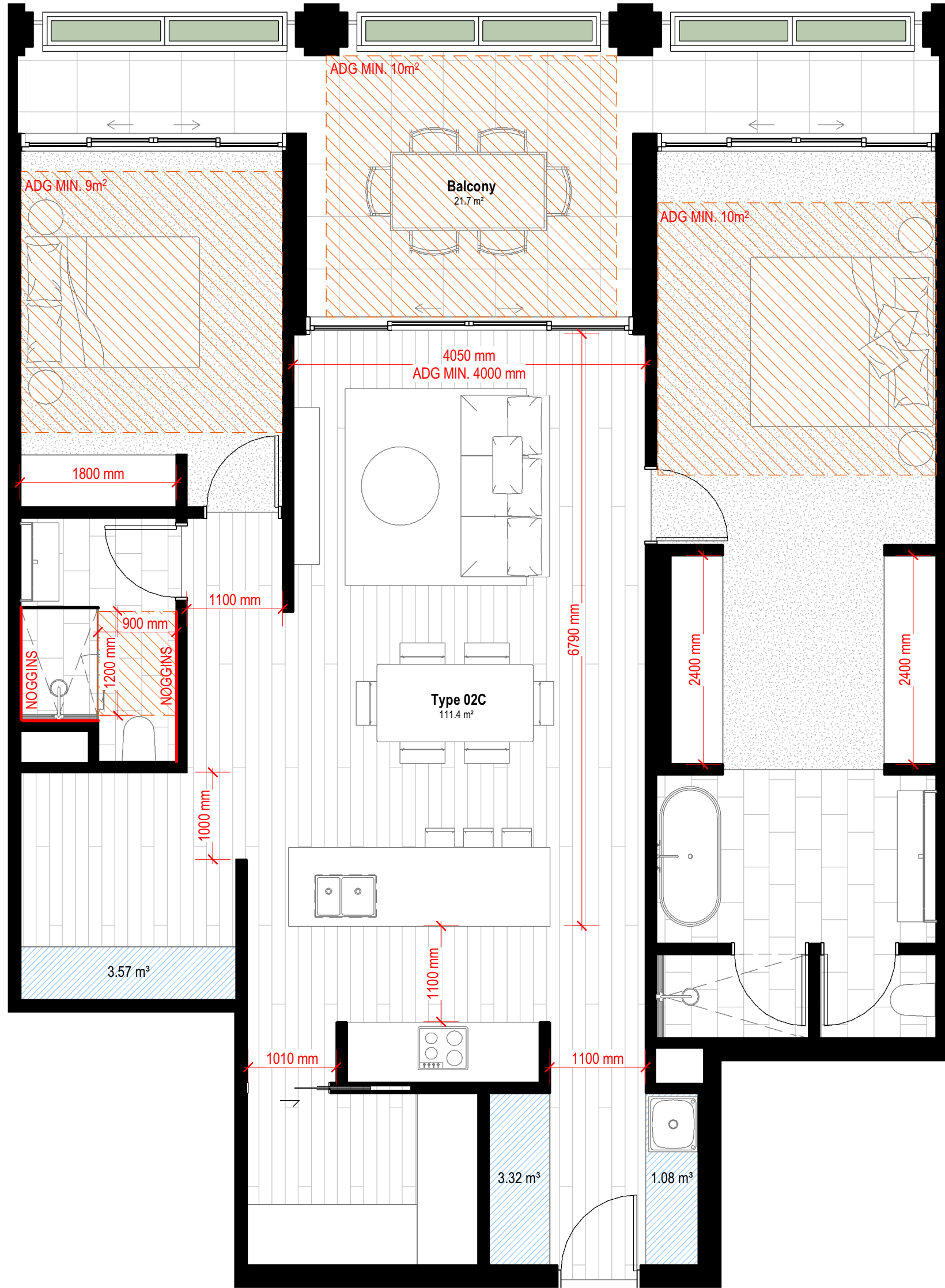
Types 02A + 02B

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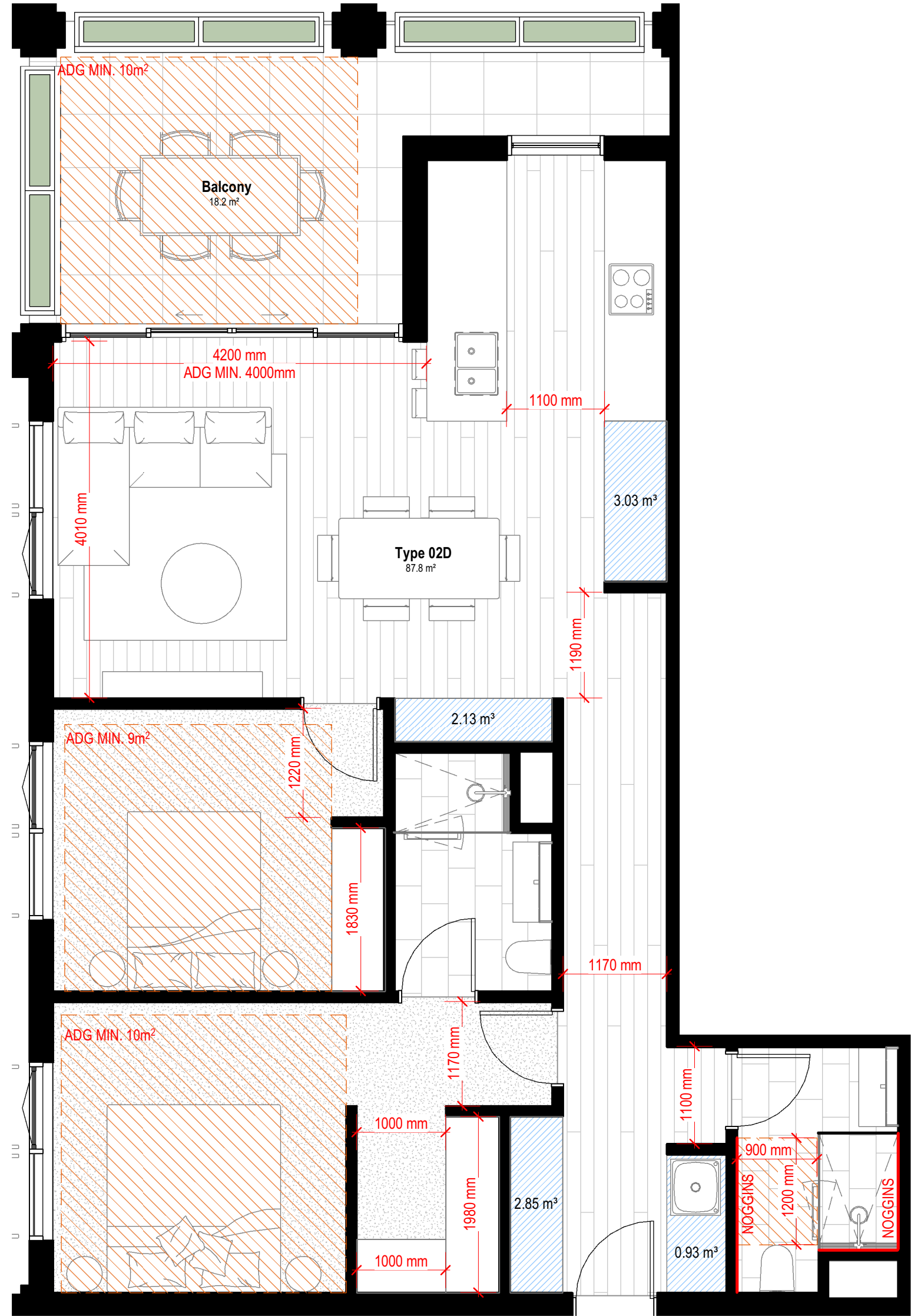


LHA - SILVER APARTMENT

1 BLDG A - Type 02C
1:50

Type 02C - Apartment Storage	
02C	1.08 m³
02C	3.32 m³
02C	3.57 m³
Grand total: 3	7.97 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



LHA - SILVER APARTMENT

2 BLDG A - Type 02D
1:50

Type 02D - Apartment Storage	
02D	0.93 m³
02D	2.13 m³
02D	2.85 m³
02D	3.03 m³
Grand total: 4	8.93 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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SCALE

1 : 50 @ A1

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6 GRAND PARADE BY ÄZURE

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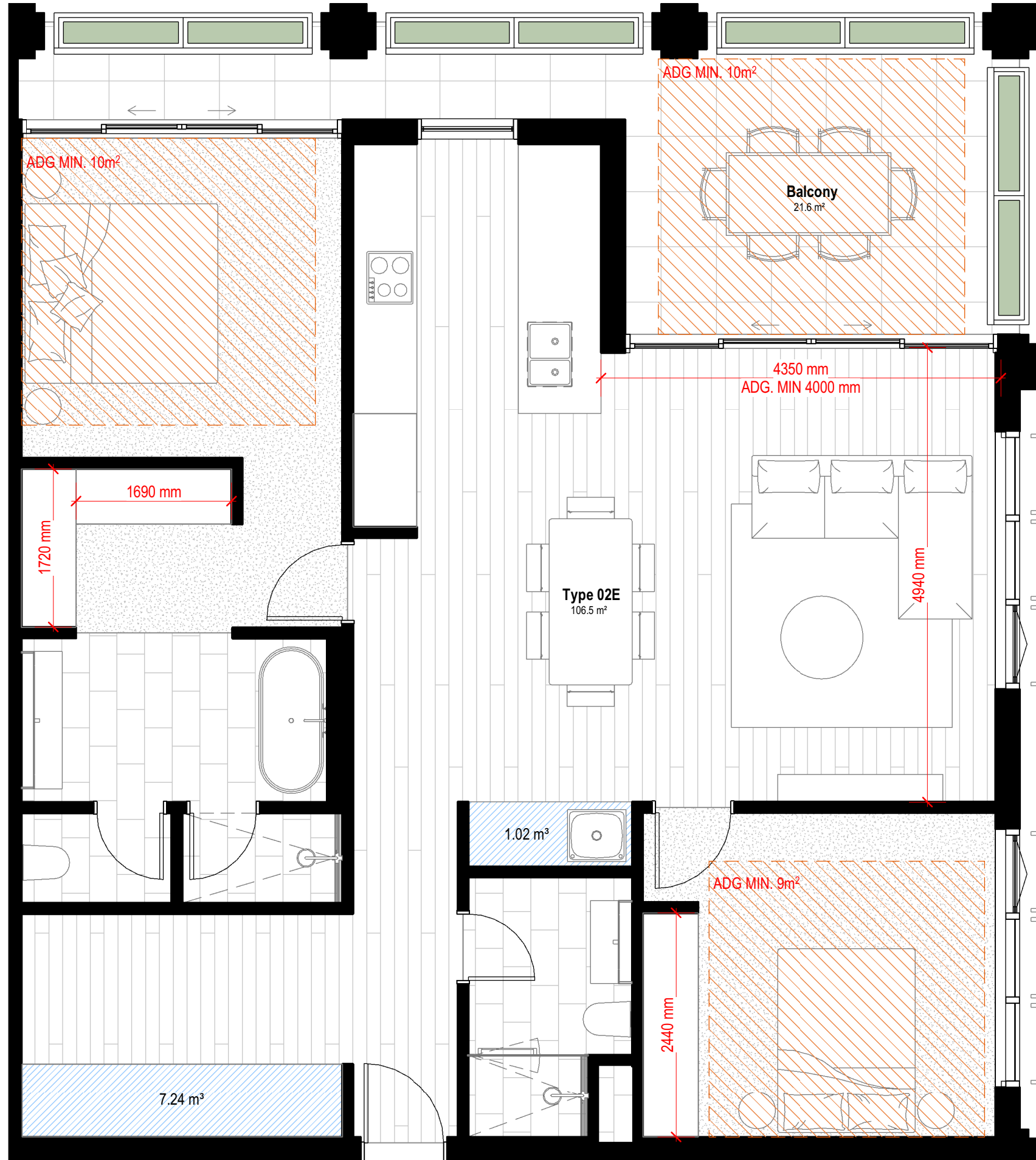
Types 02C + 02D

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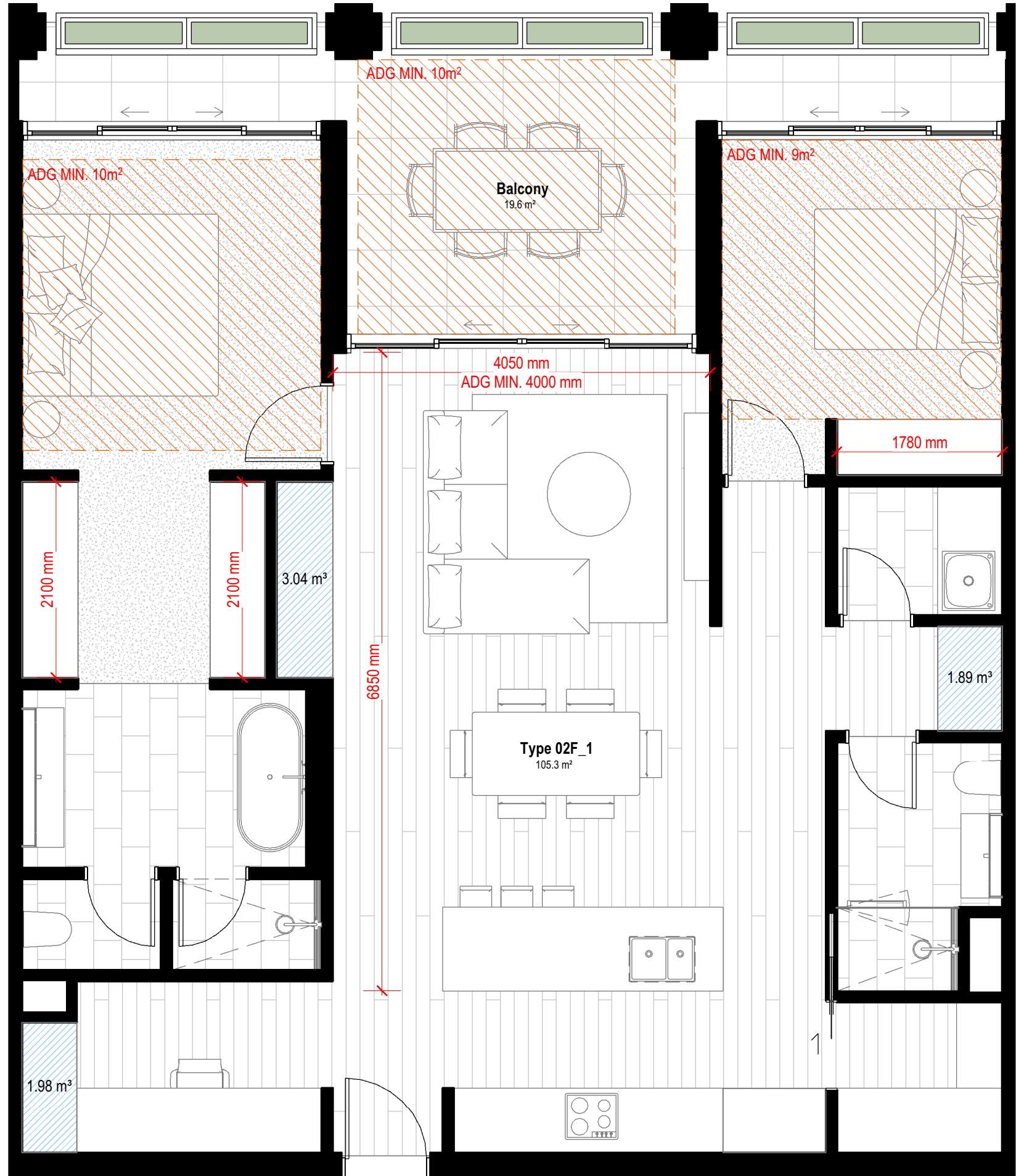
2 DA 151



1 BLDG A - Type 02E
1:50

Type 02E - Apartment Storage	
02E	1.02 m³
02E	7.24 m³
Grand total: 2	8.26 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



2 BLDG A - Type 02F
1:50

Type 02F - Apartment Storage	
02F	1.98 m³
02F	3.04 m³
Grand total: 2	5.02 m³

Type 02F - Basement Storage	
	5.12 m³
	5.12 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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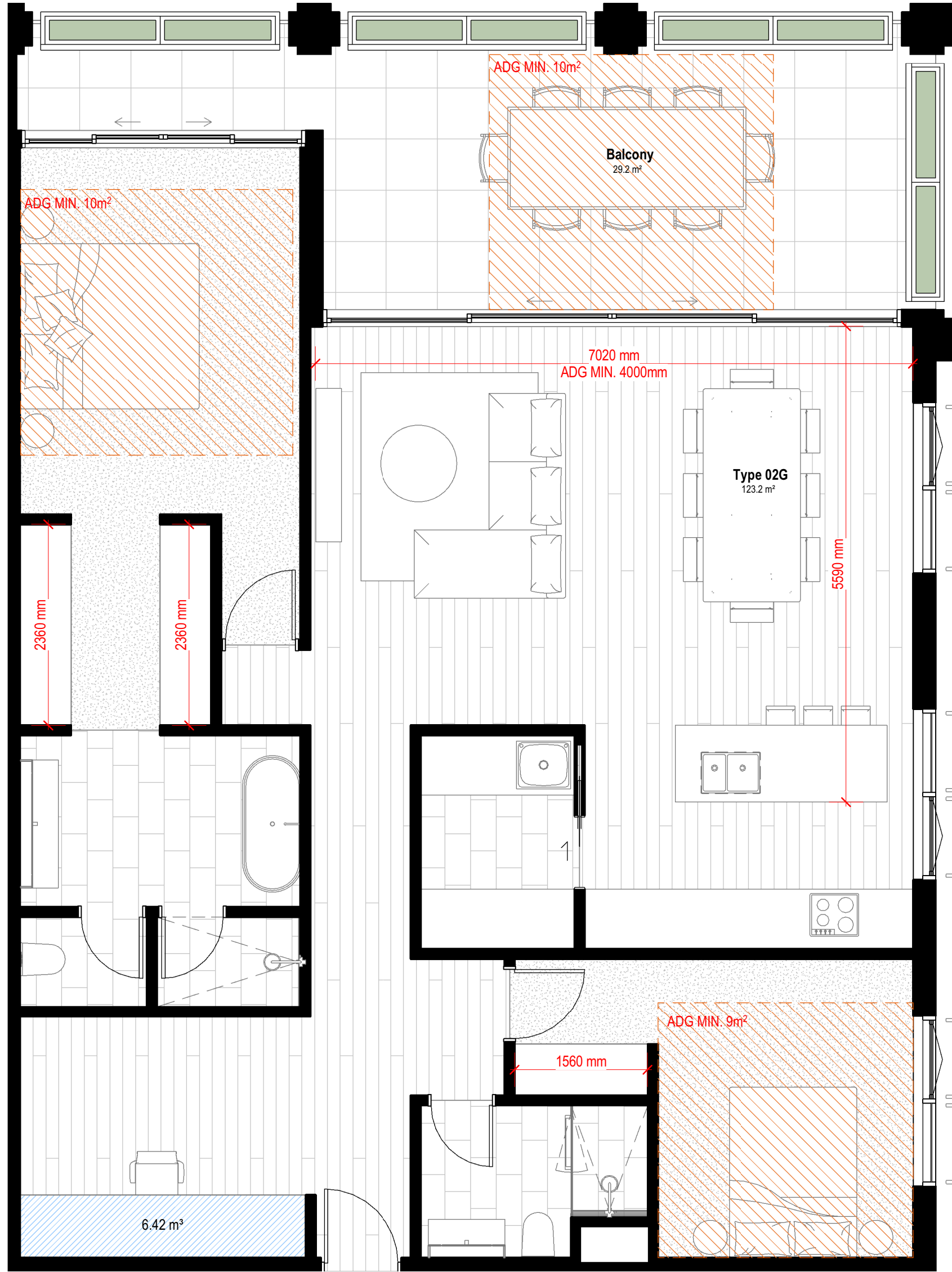
6 GRAND PARADE BY AZURE

DRAWING TITLE
Types 02E + 02F

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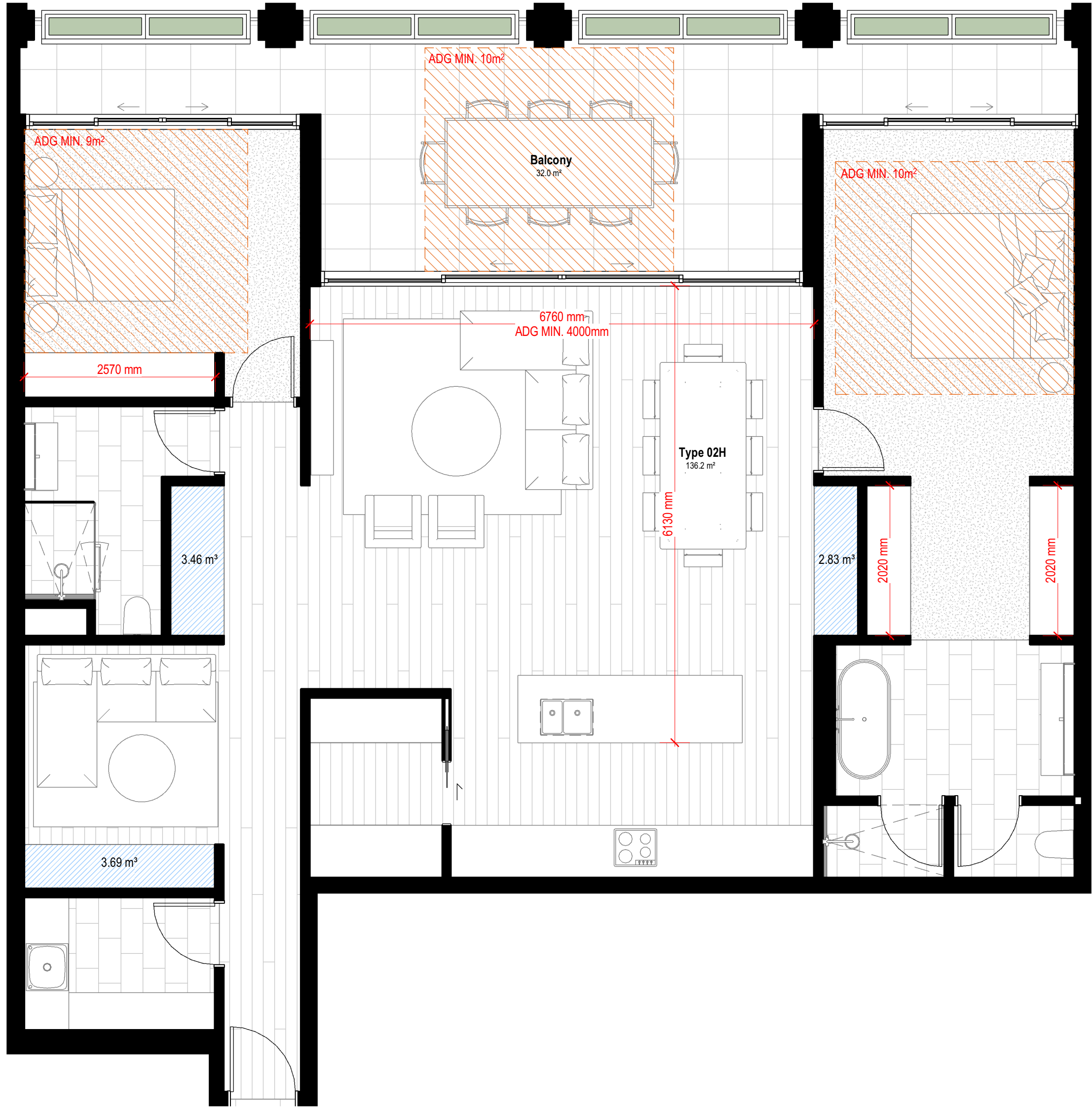


1 BLDG A - Type 02G
1:50

Type 02G - Apartment Storage	
02G	6.42 m²
Grand total: 1	6.42 m²

Type 02G - Basement Storage	
	5.12 m²
	5.12 m²

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



2 BLDG B - Type 02H
1:50

Type 02H - Apartment Storage	
02H	2.83 m³
02H	3.46 m³
02H	3.69 m³
Grand total: 3	9.98 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
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2400mm HIGH

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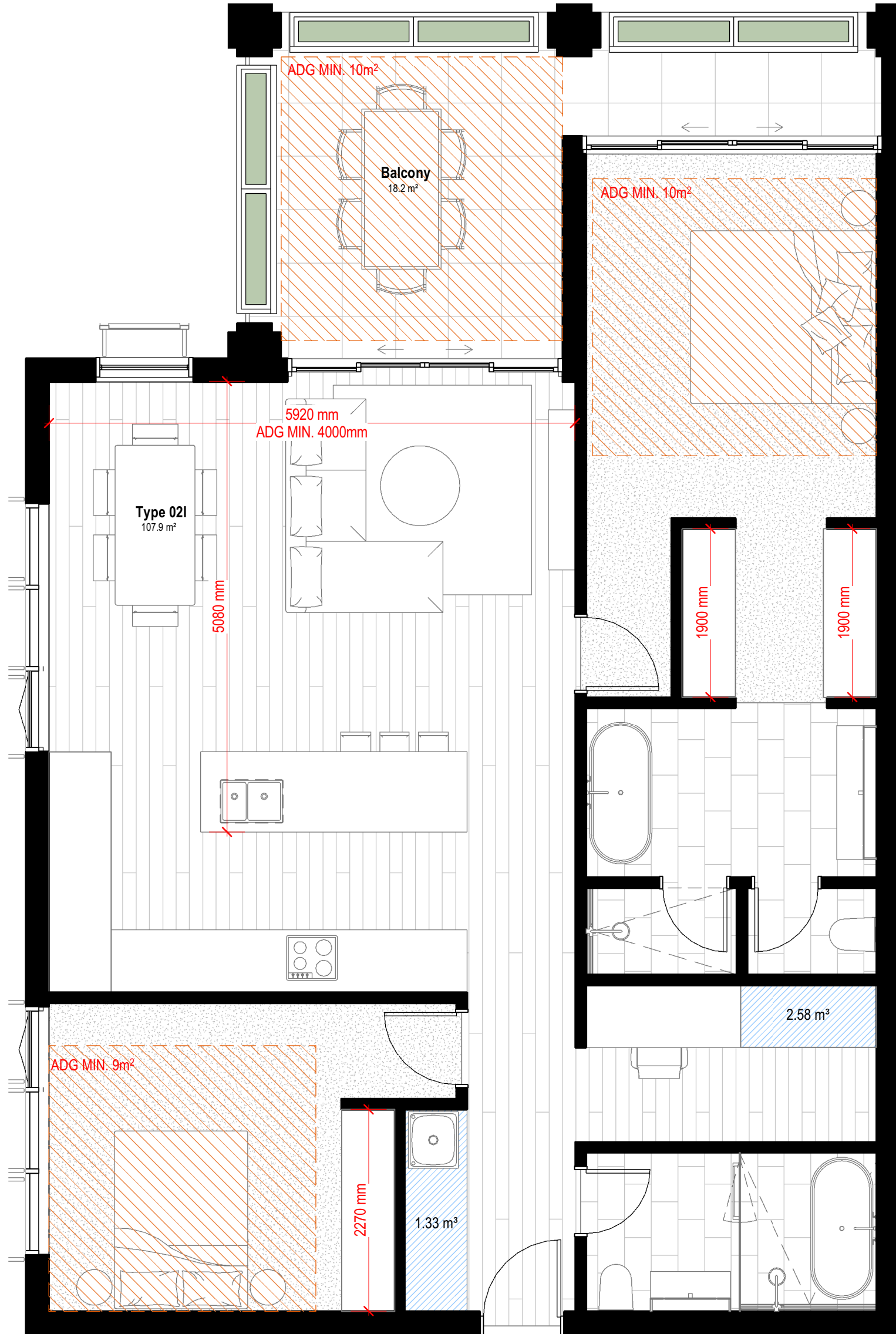
Types 02G + 02H

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2 DA 153



1 BLDG C - Type 02I
1:50

Type 02I - Apartment Storage	
02IL02	1.33 m³
02IL02	2.58 m³
Grand total: 2	3.91 m³

Type 02I - Basement Storage	
	4.61 m³
	4.61 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



2 BLDG C - Type 02J
1:50

Type 02J - Apartment Storage	
02J	1.72 m³
02J	2.43 m³
02J	3.99 m³
Grand total: 3	8.14 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
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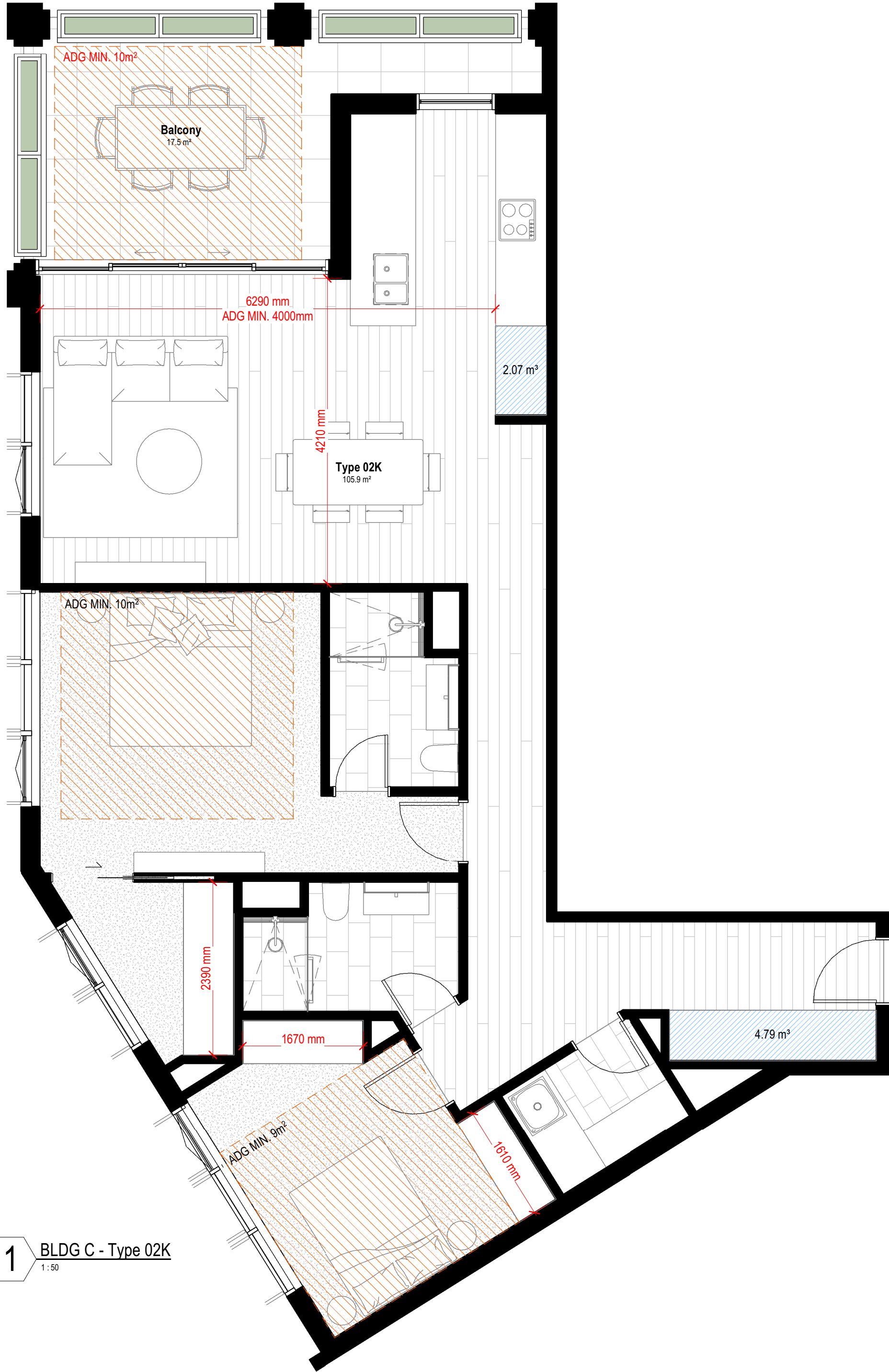
Types 02I + 02J

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2 DA 154



Type 02K - Apartment Storage	
02K	2.07 m³
02K	4.79 m³
Grand total: 2	6.86 m³

Type 02K - Basement Storage	
	4.61 m³
	4.61 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



2 BLDG C - Type 02L
1:50

Type 02L - Apartment Storage	
02L	3.72 m³
02L	5.80 m³
Grand total: 2	9.53 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REVISION

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2	DA RFI ISSUE

CLIENT

14.08.2023
15.12.2023

ÅZURE

ISSUE PURPOSE

DA

QUALITY ASSURANCE

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DRAWN	DATE	CHECKED	JOB NO.
DF	15.12.2023	NJA	21 504

SCALE

1 : 50 @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE

Types 02K + 02L

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REV. DRAWING NO.

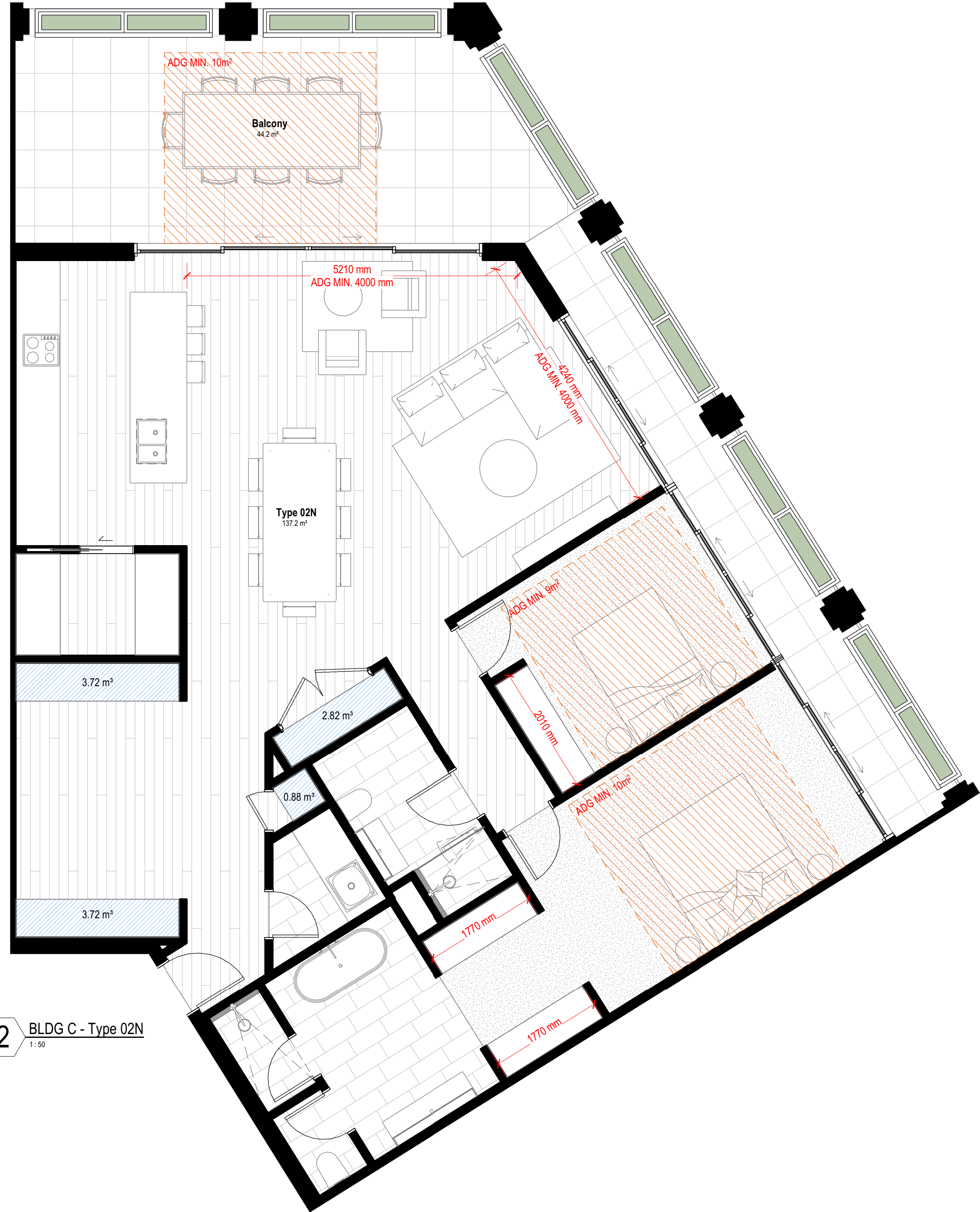
2 DA 155



1 BLDG C - Type 02M
1:50

Type 02M - Apartment Storage	
02M	0.53 m³
02M	2.51 m³
02M	3.19 m³
02M	3.55 m³
Grand total: 4	9.79 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



2 BLDG C - Type 02N
1:50

Type 02N - Apartment Storage	
02N	0.88 m³
02N	2.82 m³
02N	7.44 m³
Grand total: 4	11.14 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REVISION

1	DA RFI ISSUE
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SCALE
1 : 50 @ A1

PROJECT

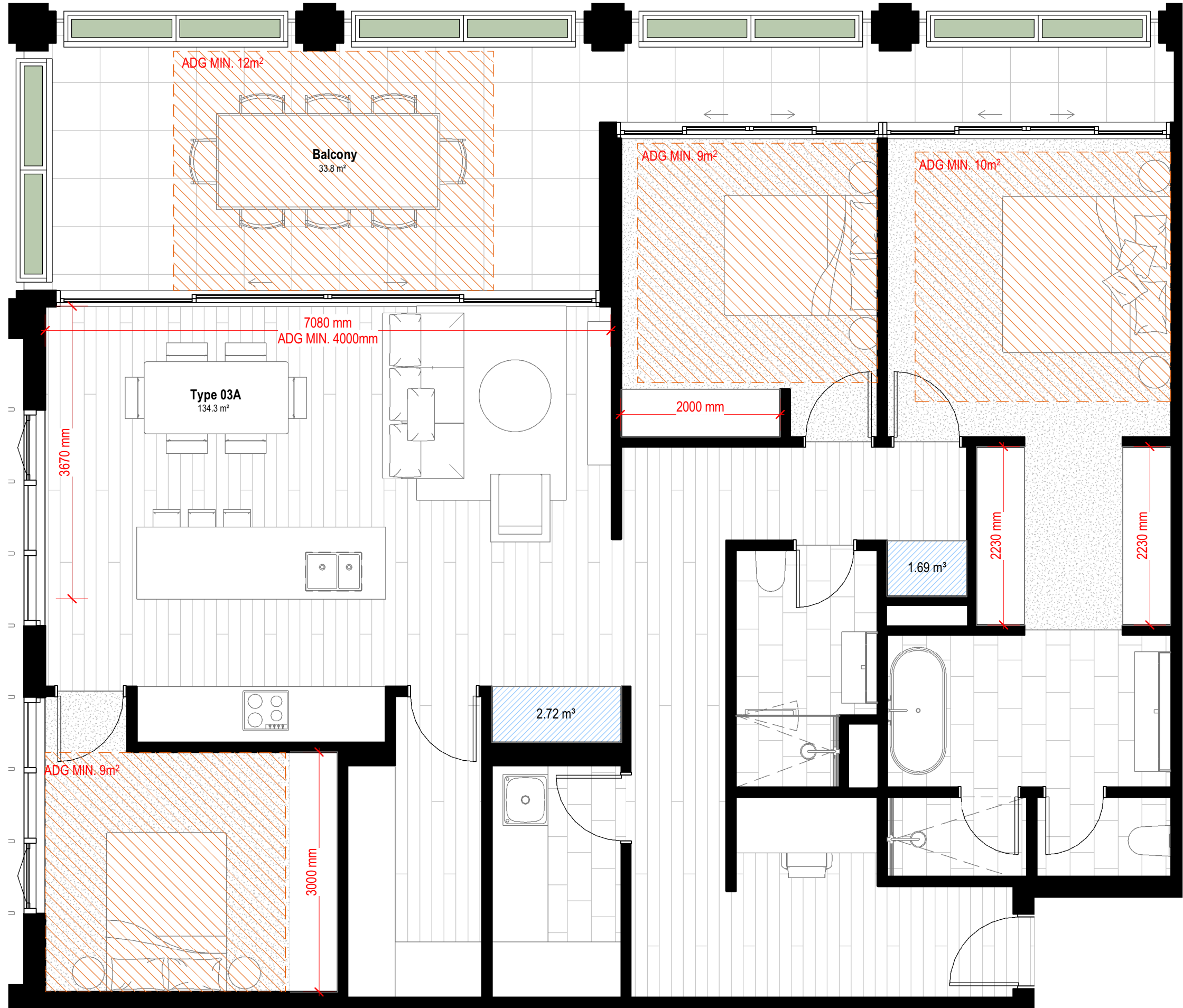
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DRAWING TITLE
Types 02M + 02N

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REV. 2
DRAWING NO. DA 156



1 BLDG A - Type 03A
1:50

Type 03A - Apartment Storage	
03A	1.69 m³
03A	2.72 m³
Grand total: 2	4.42 m³

Type 03A - Basement Storage	
	5.12 m³
	5.12 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REVISION

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DF	15.12.2023	NJA	21 504

SCALE
1 : 50 @ A1

PROJECT

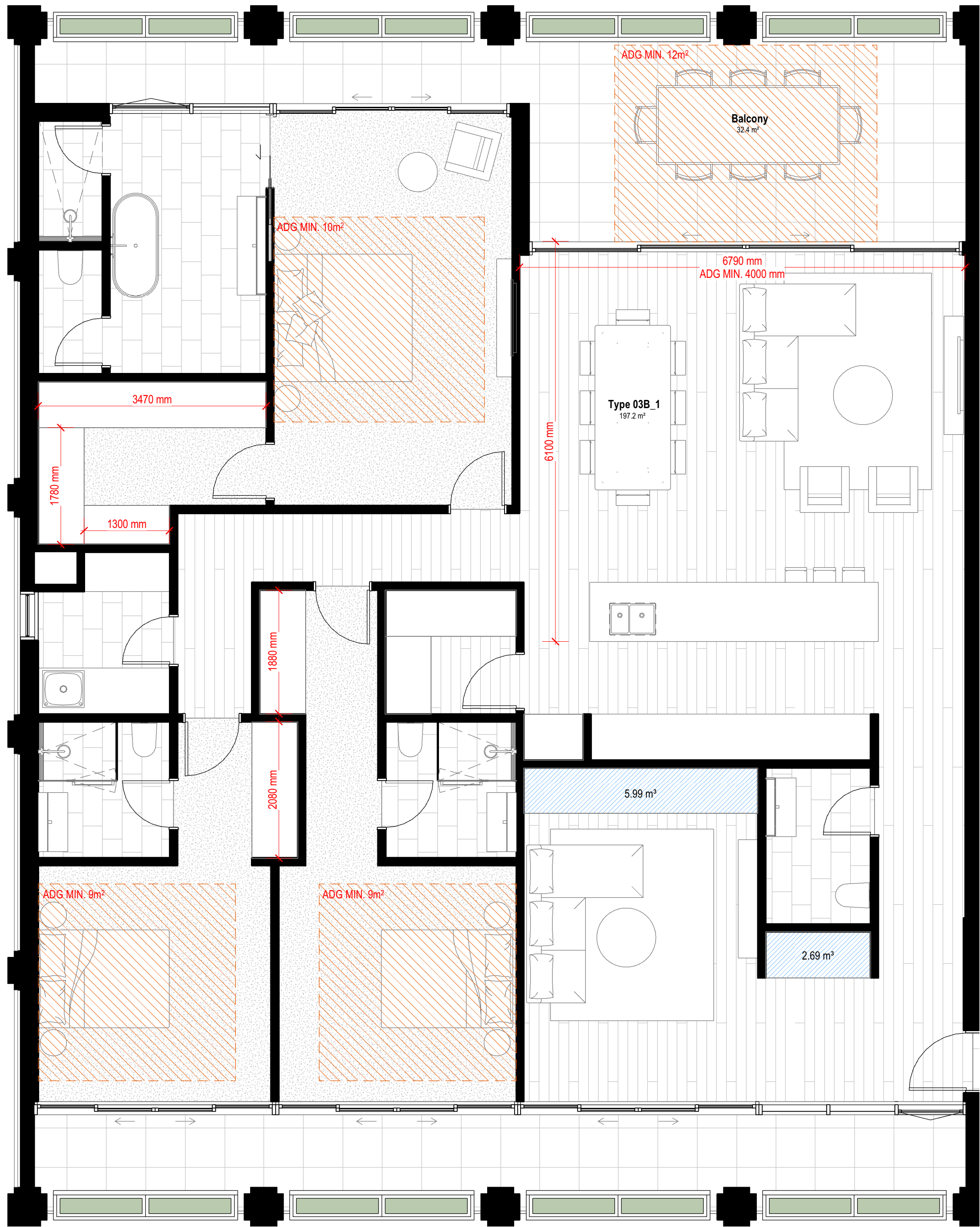
6 GRAND PARADE BY AZURE

DRAWING TITLE
Type 03A

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REV.	DRAWING NO.
2	DA 157



1 BLDG B - Type 03B-1
1 : 50

Type 03B-1 - Apartment Storage	
03B-1	2.69 m³
03B-1	5.99 m³
Grand total: 2	8.68 m³

Type 03B-1 - Basement Storage	
	5.12 m³
	5.12 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REVISION

1	DA RFI ISSUE
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SCALE
1 : 50 @ A1

PROJECT

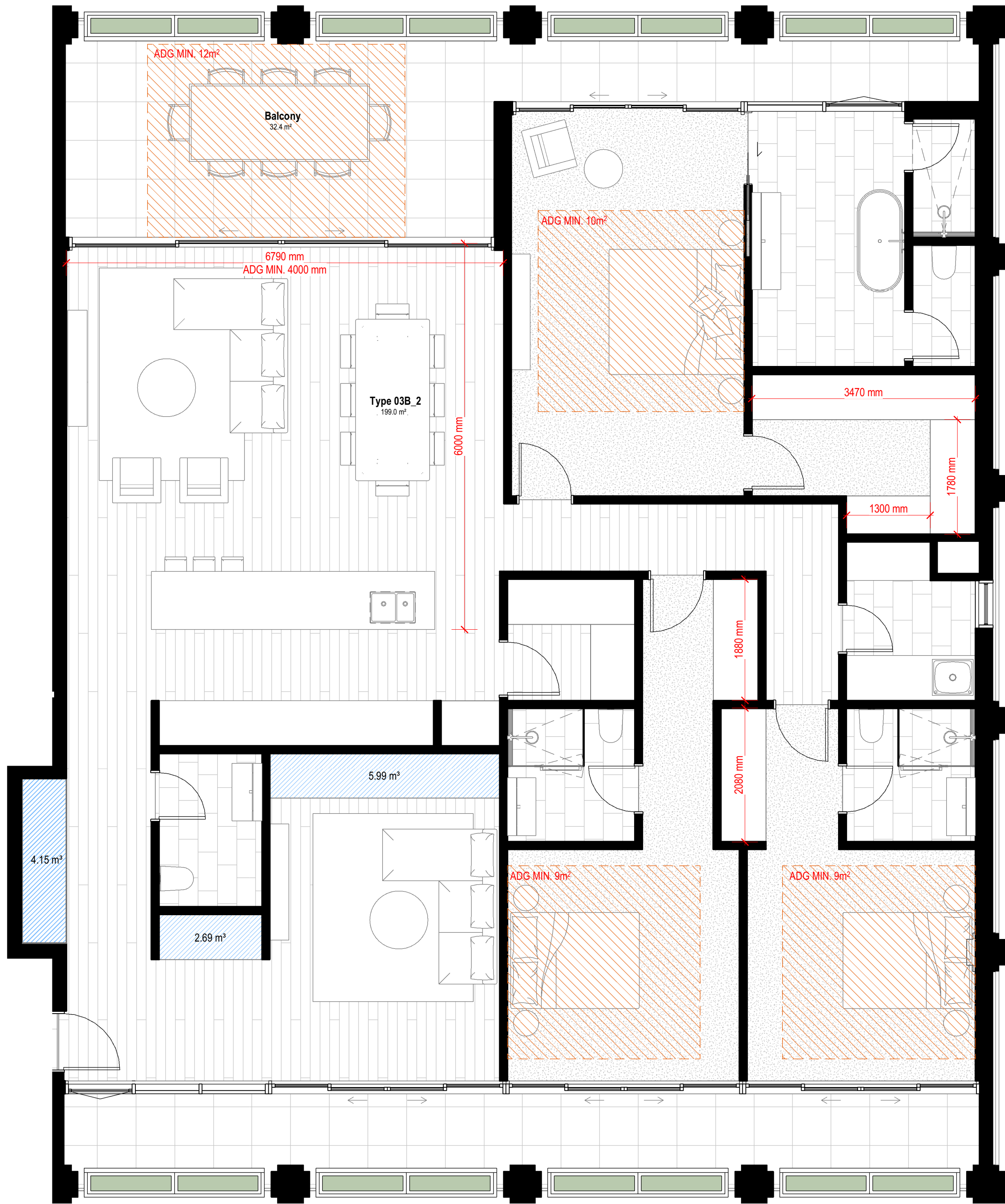
6 GRAND PARADE BY AZURE

DRAWING TITLE
Type 03B-1

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REV.	DRAWING NO.
2	DA 158



1 BLDG B - Type 03B-2
1:50

Type 03B-2 - Apartment Storage	
03B-2	2.69 m³
03B-2	4.15 m³
03B-2	5.99 m³
Grand total: 3	12.84 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REVISION

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6 GRAND PARADE BY AZURE

DRAWING TITLE
Type 03B-2

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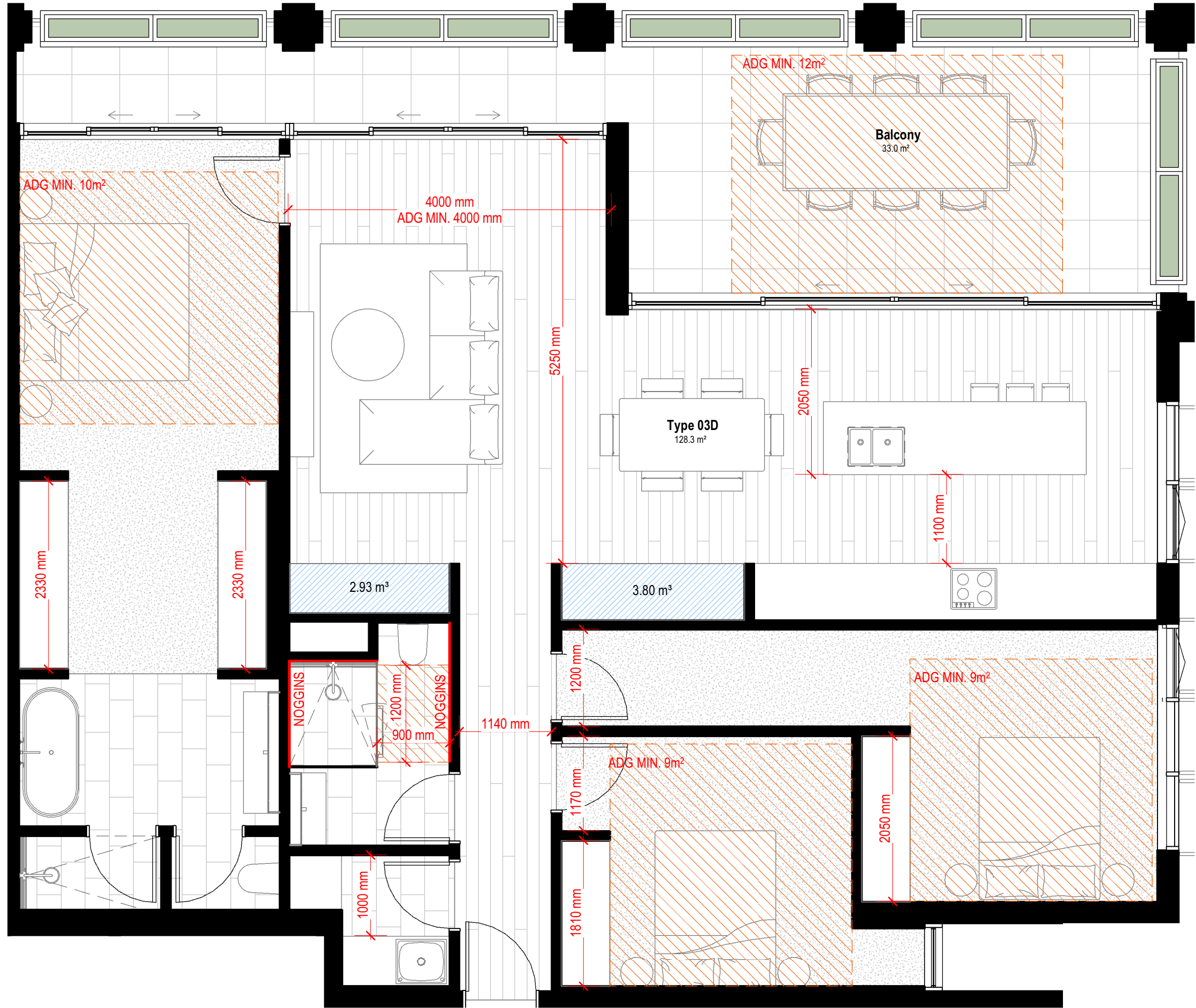
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REV.	DRAWING NO.
2	DA 159



ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REV.	DRAWING NO.
2	DA 160



LHA - SILVER APARTMENT

1 BLDG C - Type 03D
1:50

Type 03D - Apartment Storage	
03D	2.93 m³
03D	3.80 m³
Grand total: 2	6.73 m³

Type 03D - Basement Storage	
	4.61 m³
	4.61 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE
Type 03D

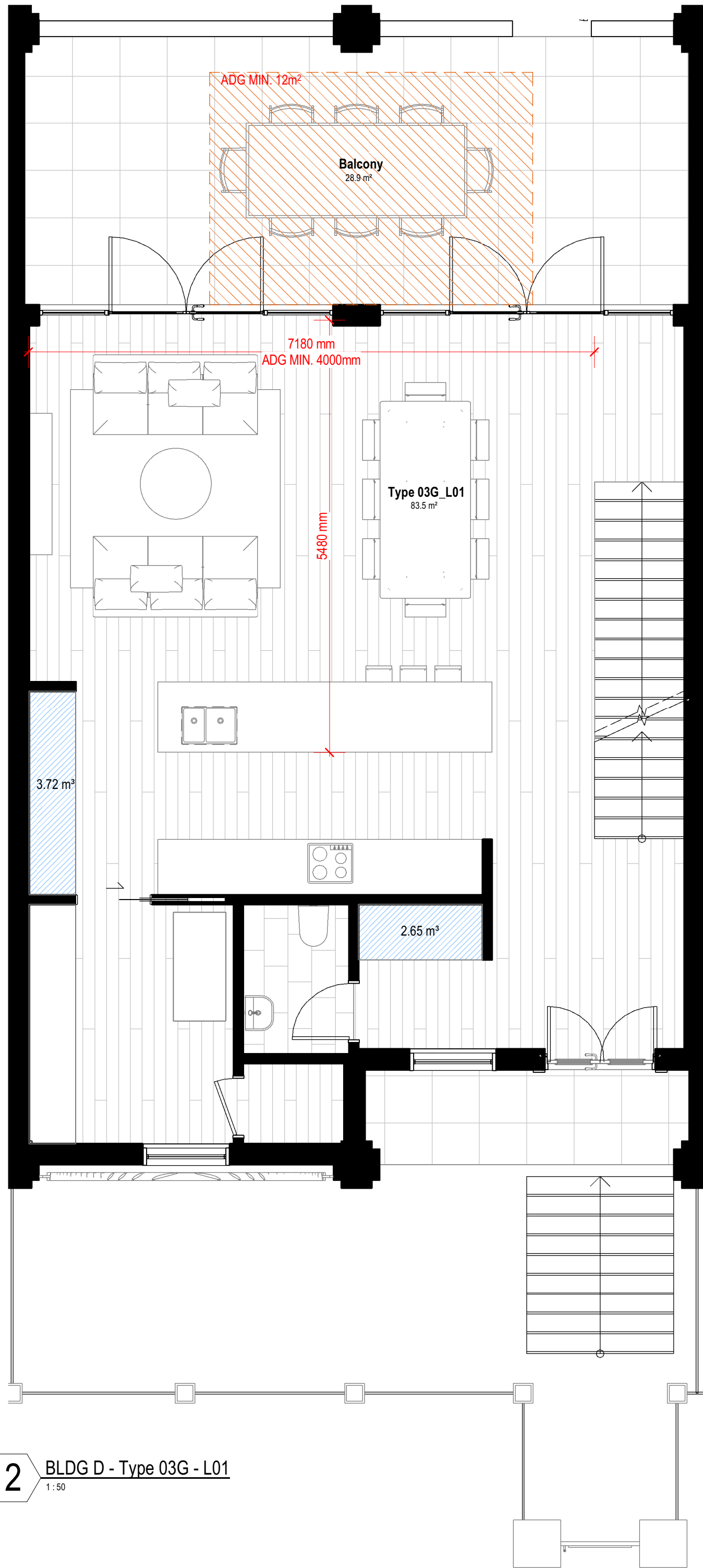
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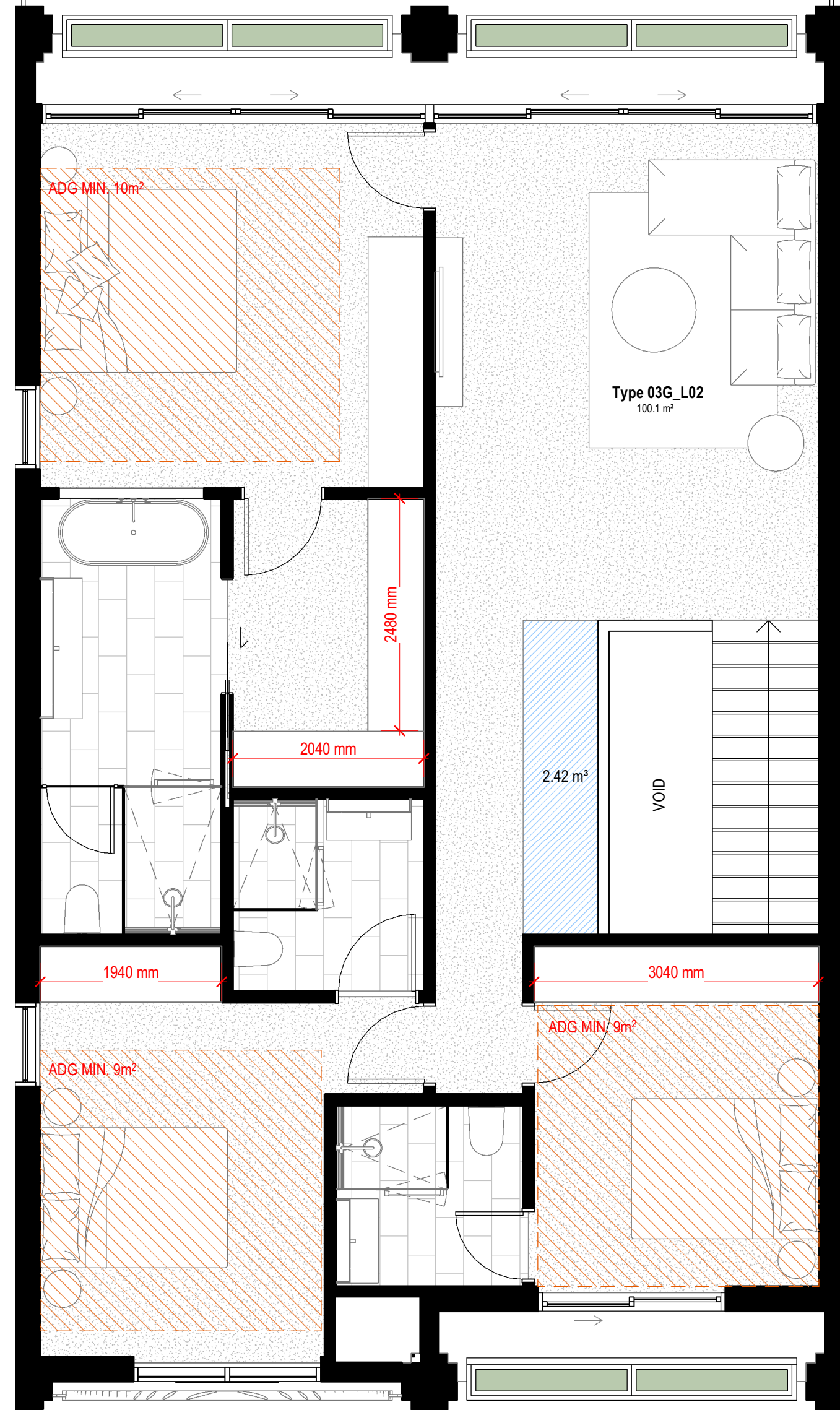
REV.	DRAWING NO.
2	DA 161



1 BLDG D - Type 03G - Basement
1:50



2 BLDG D - Type 03G - L01
1:50



3 BLDG D - Type 03G - L02
1:50

Type 03G - Apartment Storage	
03G-1	2.42 m³
03G-1	2.65 m³
03G-1	3.72 m³
Grand total: 3	8.79 m³

Type 03G - Basement Storage	
	9.74 m³
	1.47 m³
	11.22 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REVISION

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DF 15.12.2023 NJA 21 504

SCALE
1 : 50 @ A1

PROJECT

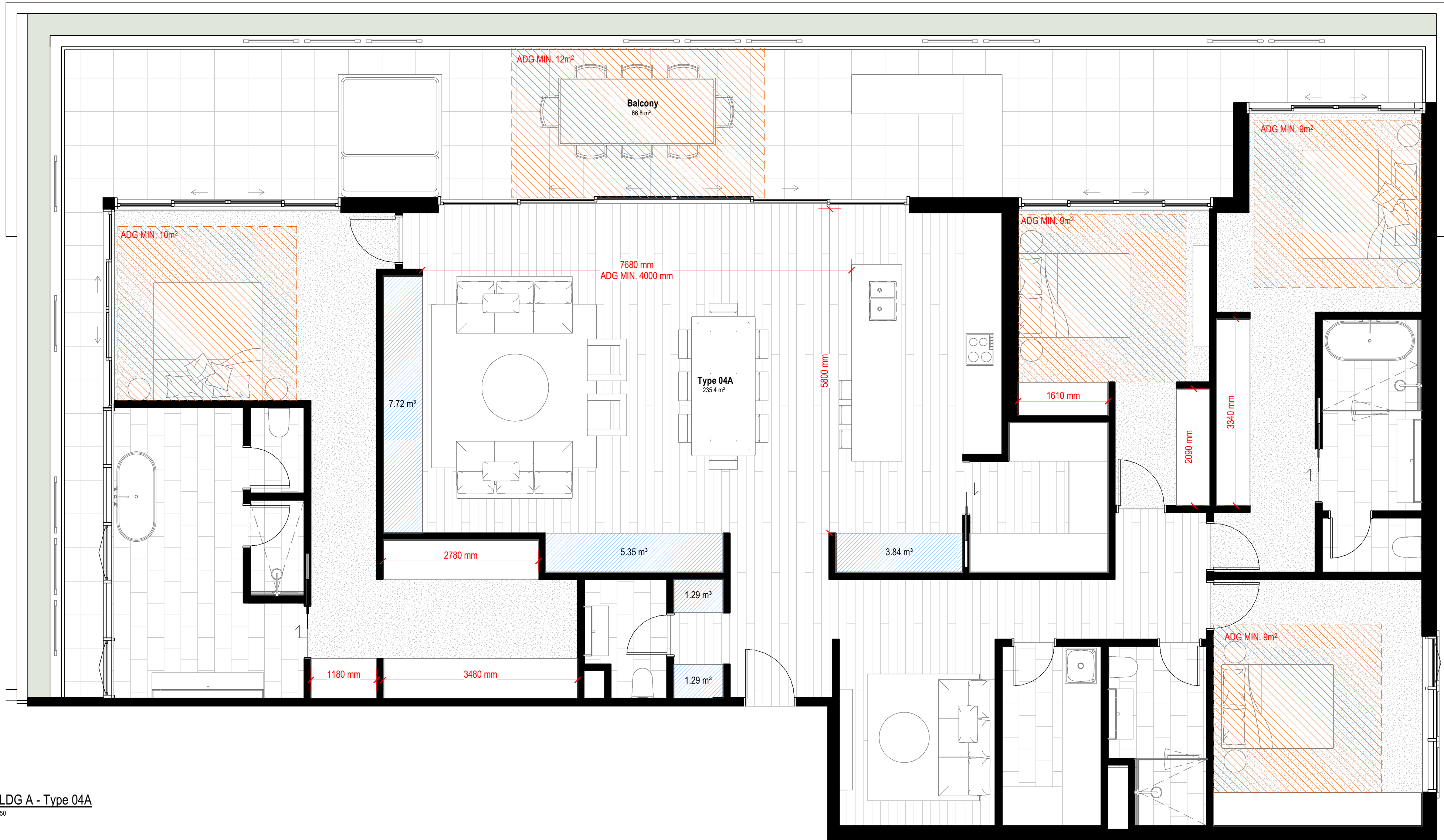
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DRAWING TITLE
Type 03G

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REV. DRAWING NO.
2 DA 162



1 BLDG A - Type 04A
1:50

Type 04A - Apartment Storage	
04A	2.57 m³
04A	3.84 m³
04A	5.35 m³
04A	7.72 m³
Grand total: 5	19.48 m³

Type 04A - Basement Storage	
	8.92 m³
	8.92 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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1 : 50 @ A1

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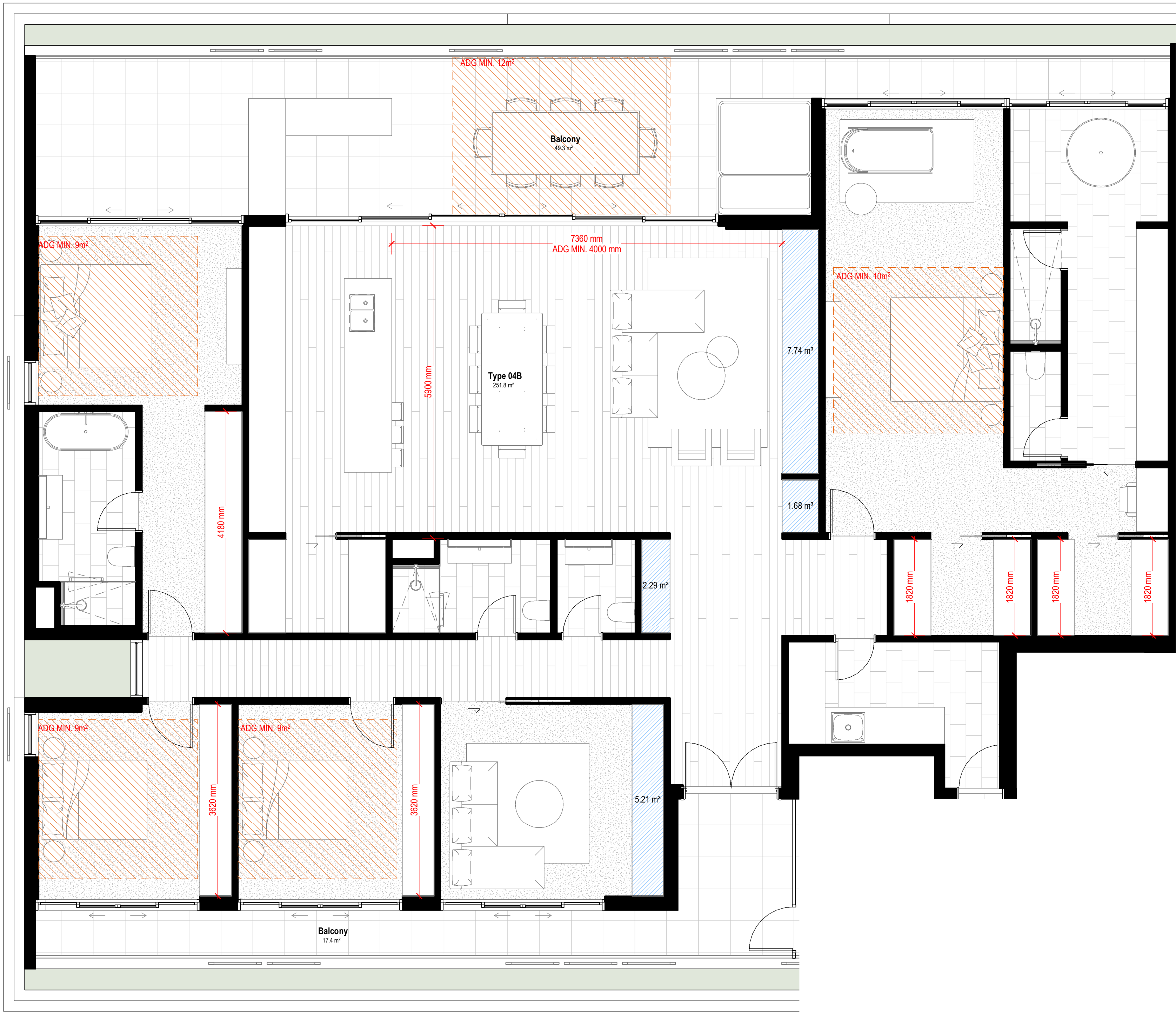
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Type 04A

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REV.	DRAWING NO.
2	DA 164



1 BLDG B - Type 04B
1:50

Type 04B - Apartment Storage	
04B	1.68 m³
04B	2.29 m³
04B	5.21 m³
04B	7.74 m³
Grand total: 4	16.92 m³

Type 04B - Basement Storage	
	6.90 m³
	6.90 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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6 GRAND PARADE BY AZURE

DRAWING TITLE
Type 04B

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REV.	DRAWING NO.
2	DA 165



Type 04C - Apartment Storage	
04C	1.68 m³
04C	2.29 m³
04C	4.51 m³
04C	7.74 m³
Grand total: 4	16.22 m³

Type 04C - Basement Storage	
	6.92 m³
	6.92 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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SCALE
1 : 50 @ A1

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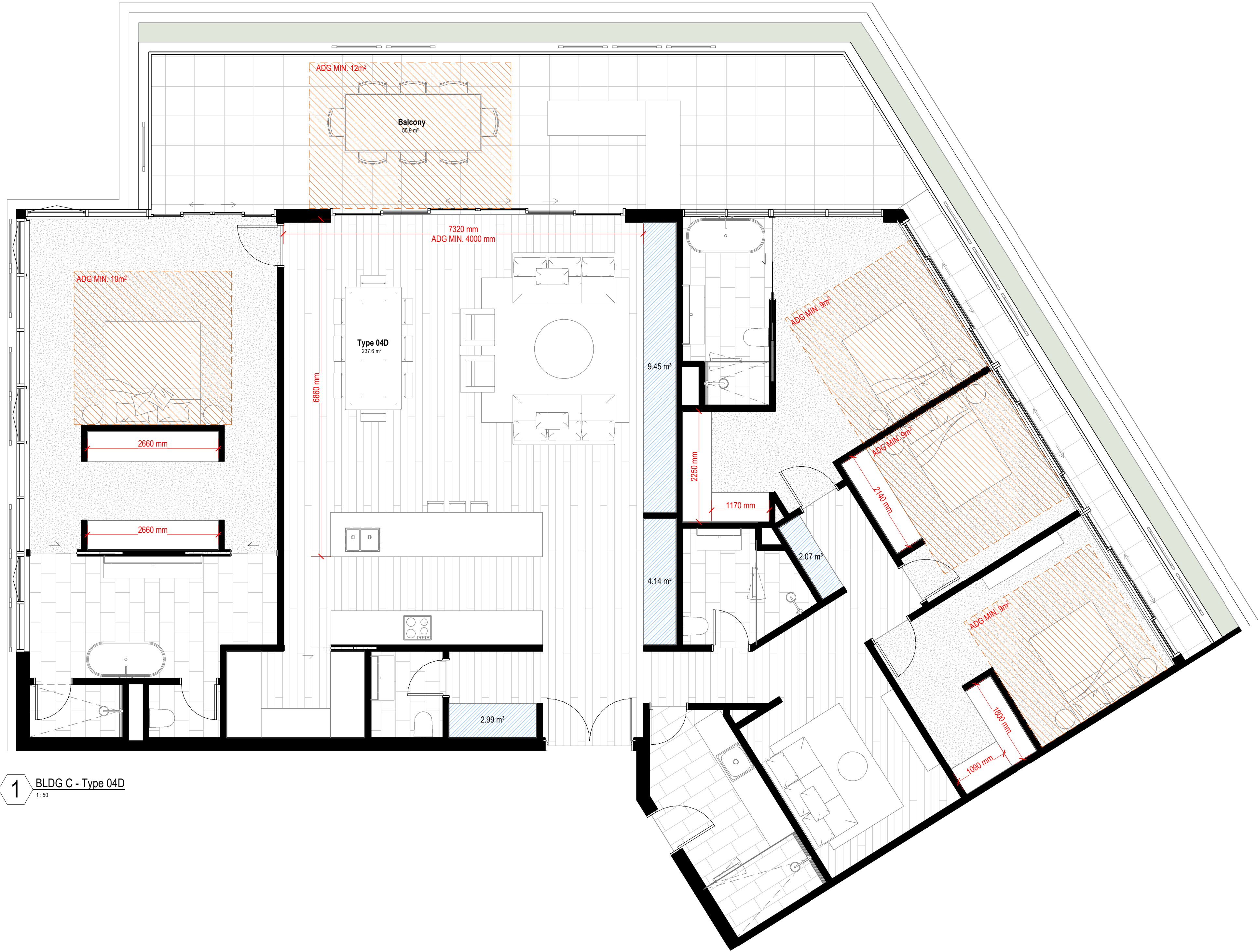
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DRAWING TITLE
Type 04C

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REV.	DRAWING NO.
2	DA 166



Type 04D - Apartment Storage	
04D	2.07 m³
04D	2.99 m³
04D	4.14 m³
04D	9.45 m³
Grand total: 4	18.65 m³

Type 04D - Basement Storage	
	4.61 m³
	4.61 m³
	4.61 m³
	13.82 m³

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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DRAWN	DATE	CHECKED	JOB NO.
DF	15.12.2023	NJA	21 504

SCALE
1 : 50 @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE
Type 04D

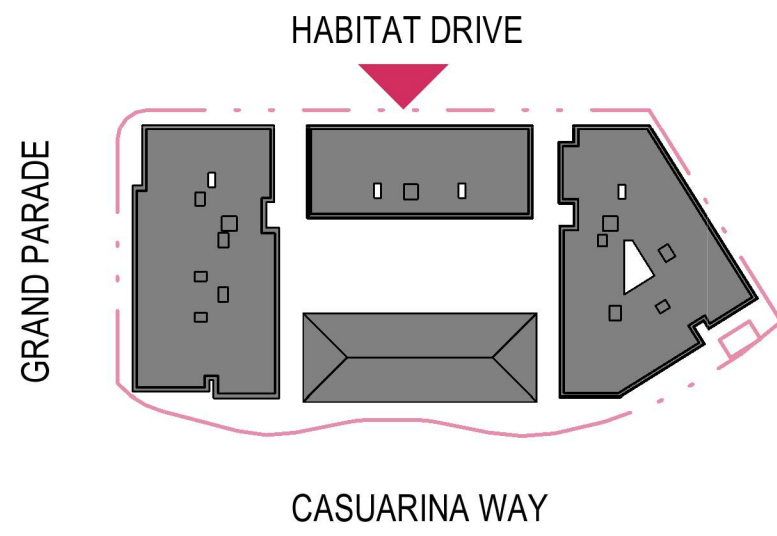
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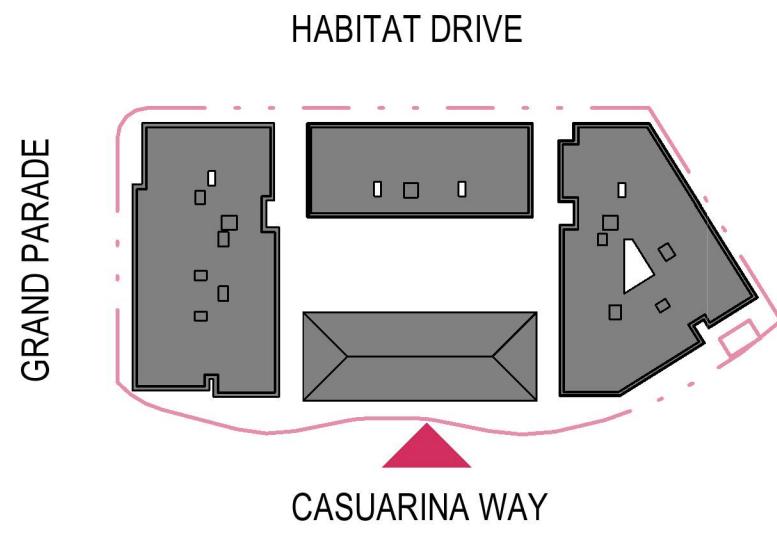
REV.	DRAWING NO.
2	DA 167



1 Elevation - Habitat Drive
1:200



2 Elevation - Casuarina Way
1:200



REVISION

1	DA RFI ISSUE
2	DA RFI ISSUE

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15.12.2023

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ISSUE PURPOSE

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DRAWN	DATE	CHECKED	JOB NO.
DF	15.12.2023	NJA	21 504

SCALE
As indicated @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE
Elevations - East (Habitat Drive) / West (Casuarina Way)

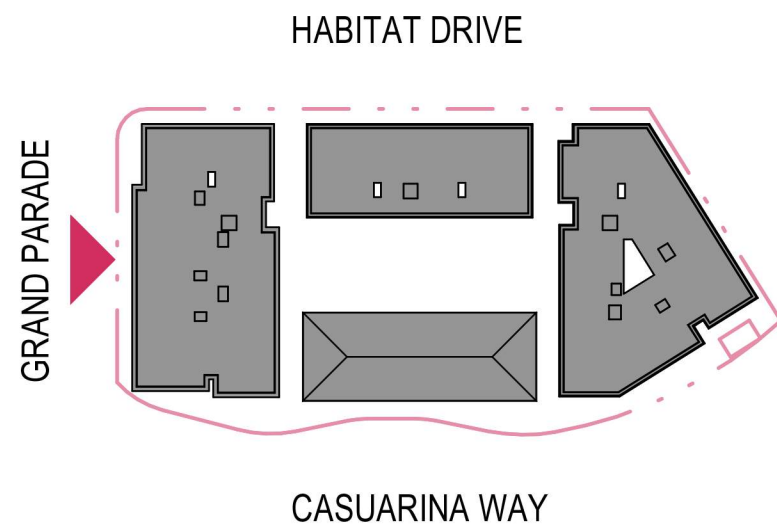
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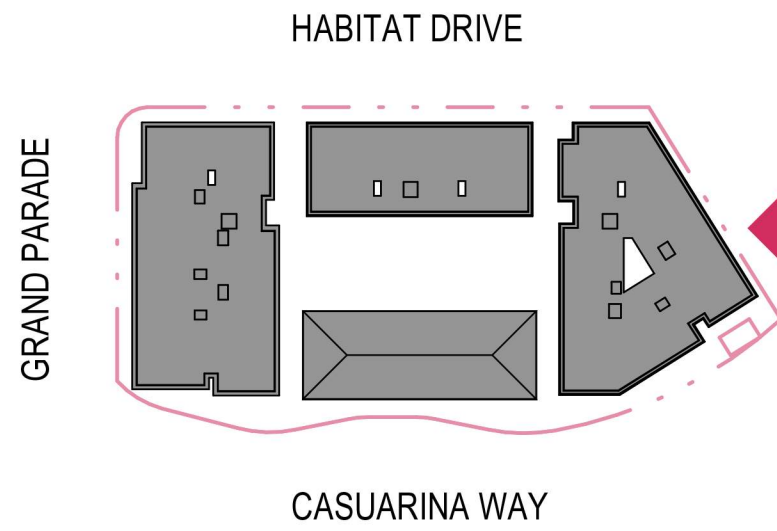
REV. DRAWING NO.
2 DA 200



1 Elevation - Grand Parade
1:200



2 Elevation - South Elevation
1:200



REVISION

1	DA RFI ISSUE
2	DA RFI ISSUE

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14.08.2023
15.12.2023

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ISSUE PURPOSE

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DRAWN	DATE	CHECKED	JOB NO.
DF	15.12.2023	NJA	21 504

PROJECT

6 GRAND PARADE BY AZURE

SCALE	DRAWING TITLE
As indicated @ A1	Elevations - North (Grand Parade) / South

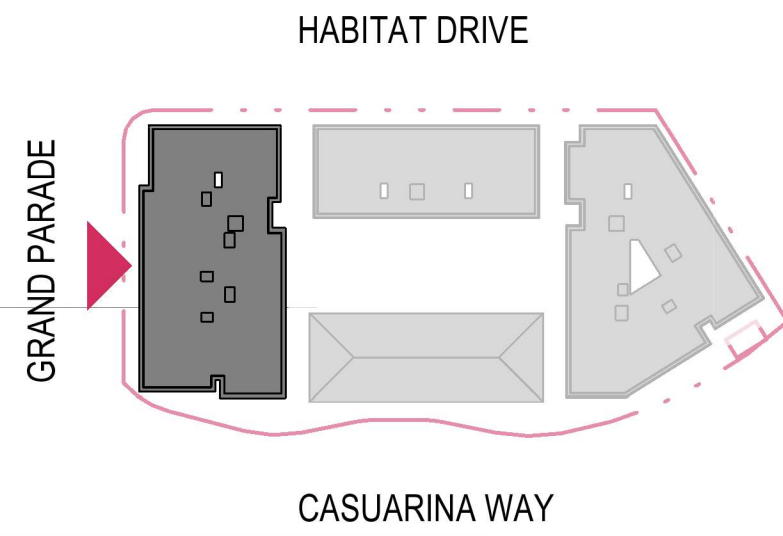
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2	DA 201



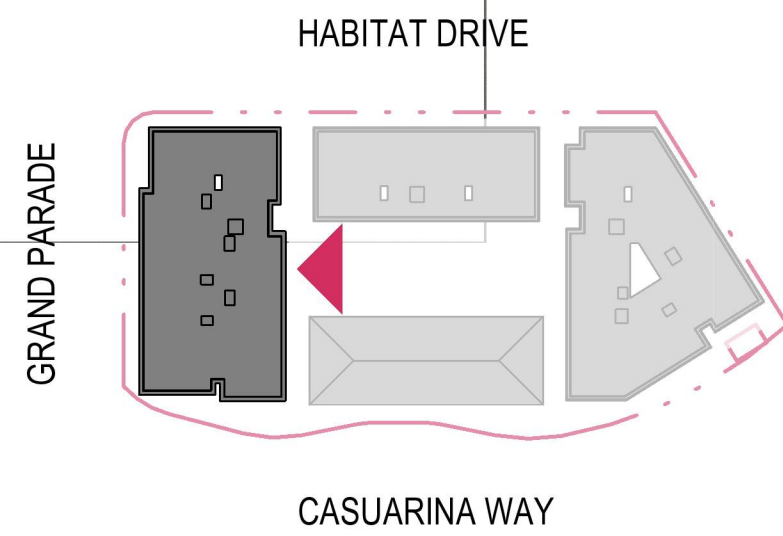
1 Elevation - Building A - North
1:100



2 Elevation - Building A - South
1:100

LEGEND

BAL1	BALUSTRADE, ALUM
BAL2	BALUSTRADE, GRC PLANTER + ALUM
BAL3	BALUSTRADE, ALUM + GLASS
CNR	CONCRETE, RENDERED
FEN	FENCE
GL	GLASS
SCR1	SCREEN, ALUM
SCR2	SCREEN, ALUM
SCR3	SCREEN, ALUM



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DRAWN	DATE	CHECKED	JOB NO.
DF	15.12.2023	NJA	21 504

SCALE
As indicated @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE
Elevations - Building A (N, S)

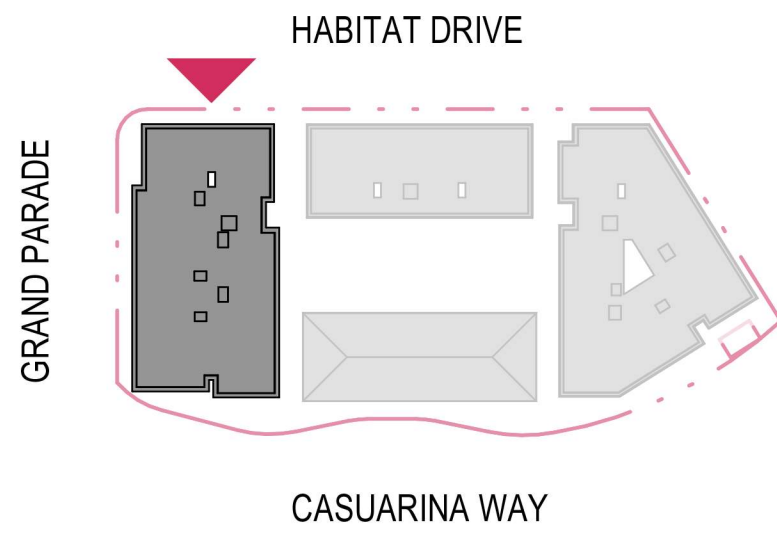
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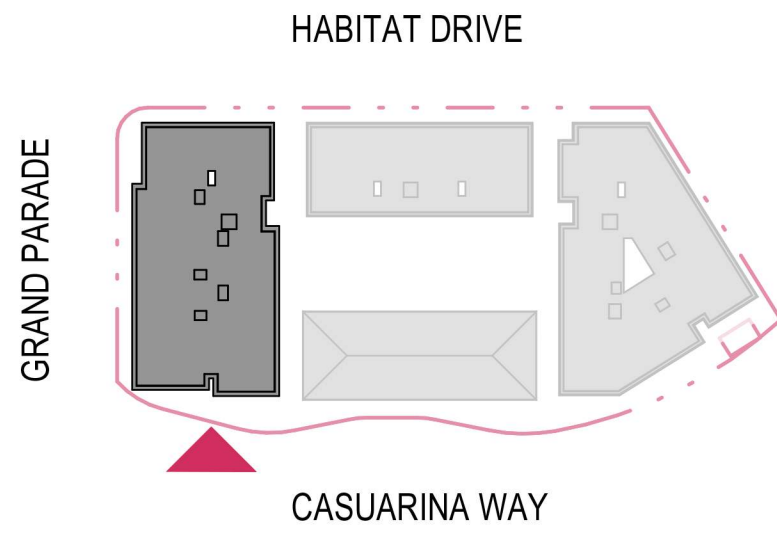
REV. 2
DRAWING NO. DA 202



1 Elevation - Building A - East
1:100



2 Elevation - Building A - West
1:100



LEGEND

BAL1	BALUSTRADE, ALUM
BAL2	BALUSTRADE, GRC PLANTER + ALUM
BAL3	BALUSTRADE, ALUM + GLASS
CNR	CONCRETE, RENDERED
FEN	FENCE
GAT	GATE, ALUM
GL	GLASS
SCR1	SCREEN, ALUM
SCR2	SCREEN, ALUM
SCR3	SCREEN, ALUM

REVISION

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2	DA RFI ISSUE

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DF	15.12.2023	NJA	21 504

PROJECT

6 GRAND PARADE BY AZURE

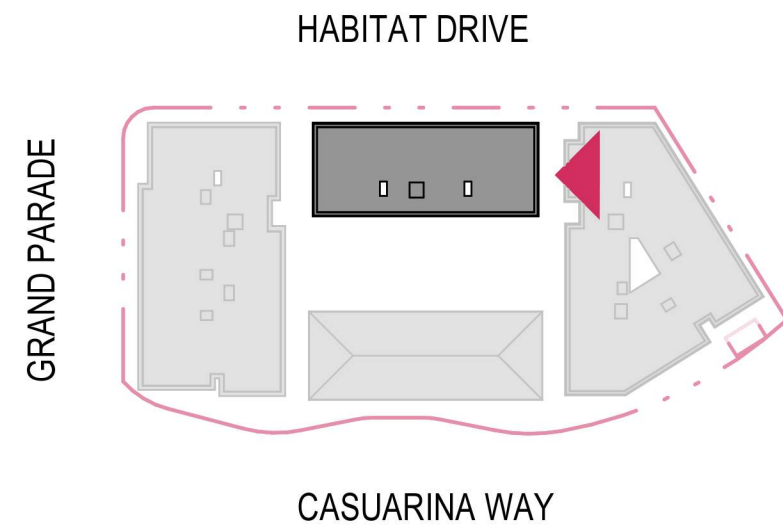
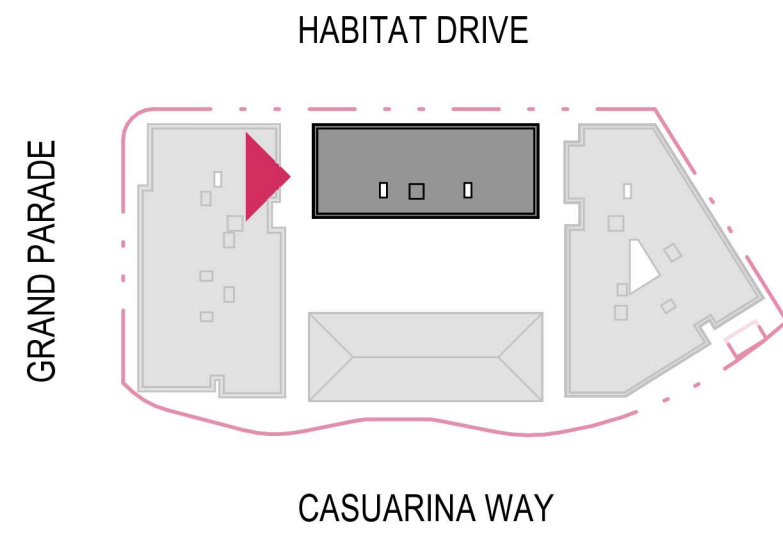
SCALE
As indicated @ A1

DRAWING TITLE
Elevations - Building A (E, W)

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2	DA 203



LEGEND

BAL1	BALUSTRADE, ALUM
BAL2	BALUSTRADE, GRC PLANTER + ALUM
BAL3	BALUSTRADE, ALUM + GLASS
CNR	CONCRETE, RENDERED
FEN	FENCE
GAT	GATE, ALUM
GL	GLASS
SCR1	SCREEN, ALUM
SCR2	SCREEN, ALUM
SCR3	SCREEN, ALUM

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DRAWN	DATE	CHECKED	JOB NO.
Author	15.12.2023	Checker	21 504

PROJECT

6 GRAND PARADE BY AZURE

SCALE
As indicated @ A1

DRAWING TITLE
Elevations - Building B (N, S)

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REV.	DRAWING NO.
2	DA 204



1 Elevation - Building B - East
1:100



2 Elevation - Building B - West
1:100

LEGEND

BAL1	BALUSTRADE, ALUM
BAL2	BALUSTRADE, GRC PLANTER + ALUM
BAL3	BALUSTRADE, ALUM + GLASS
CNR	CONCRETE, RENDERED
FEN	FENCE
GL	GLASS
SCR1	SCREEN, ALUM
SCR2	SCREEN, ALUM
SCR3	SCREEN, ALUM

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DRAWN	DATE	CHECKED	JOB NO.
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SCALE
As indicated @ A1

PROJECT

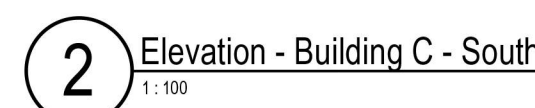
6 GRAND PARADE BY AZURE

DRAWING TITLE
Elevations - Building B (E, W)

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REV.	DRAWING NO.
2	DA 205



BAL1	BALUSTRADE, ALUM
BAL2	BALUSTRADE, GRC PLANTER + ALUM
BAL3	BALUSTRADE, ALUM + GLASS
CNR	CONCRETE, RENDERED
FEN	FENCE
GAT	GATE, ALUM
GL	GLASS
SCR1	SCREEN, ALUM
SCR2	SCREEN, ALUM
SCR3	SCREEN, ALUM

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ÄZURE
ISSUE PURPOSE
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SCALE
As indicated @ A1

DRAWING TITLE
Elevations - Building C (N. S)

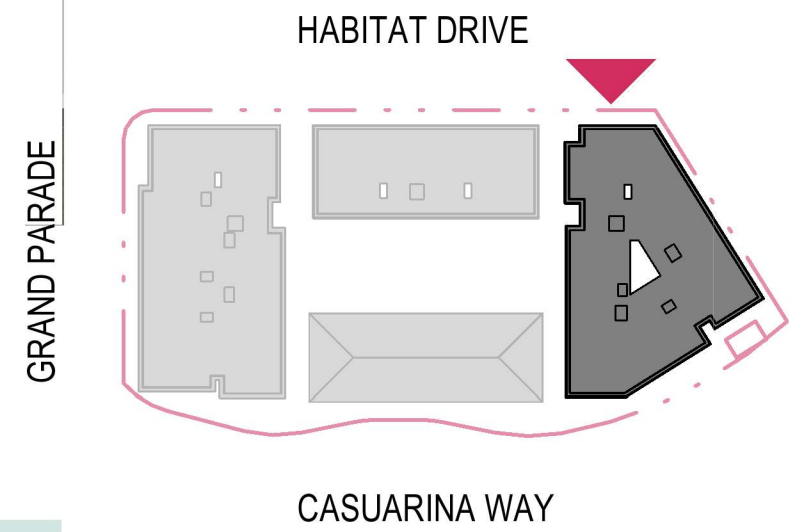
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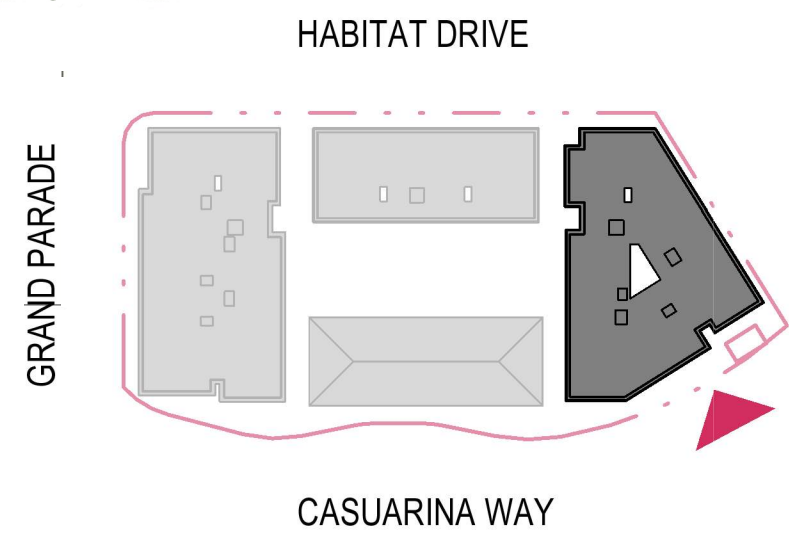
2 DA 206



1 Elevation - Building C - East
1:100



2 Elevation - Building C - West
1:100



LEGEND

BAL1	BALUSTRADE, ALUM
BAL2	BALUSTRADE, GRC PLANTER + ALUM
BAL3	BALUSTRADE, ALUM + GLASS
CNR	CONCRETE, RENDERED
FEN	FENCE
GAT	GATE, ALUM
GL	GLASS
SCR1	SCREEN, ALUM
SCR2	SCREEN, ALUM
SCR3	SCREEN, ALUM

REVISION

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DRAWN	DATE	CHECKED	JOB NO.
DF	15.12.2023	NJA	21 504

SCALE
As indicated @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE
Elevations - Building C (E, W)

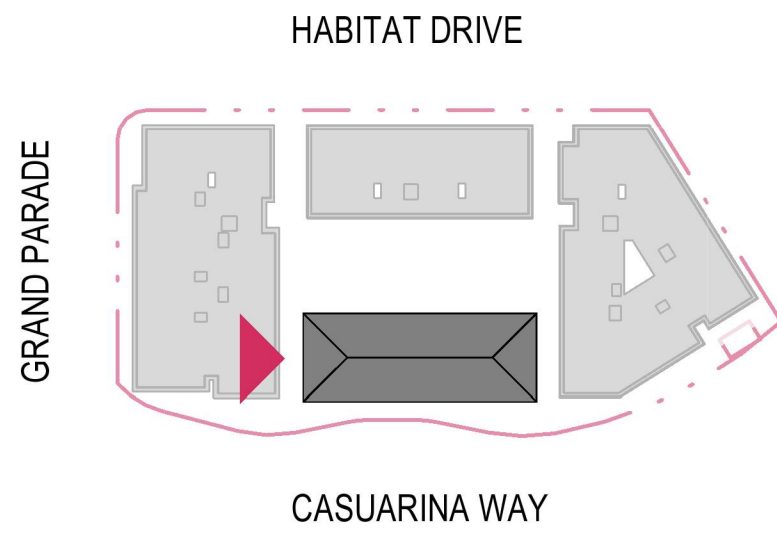
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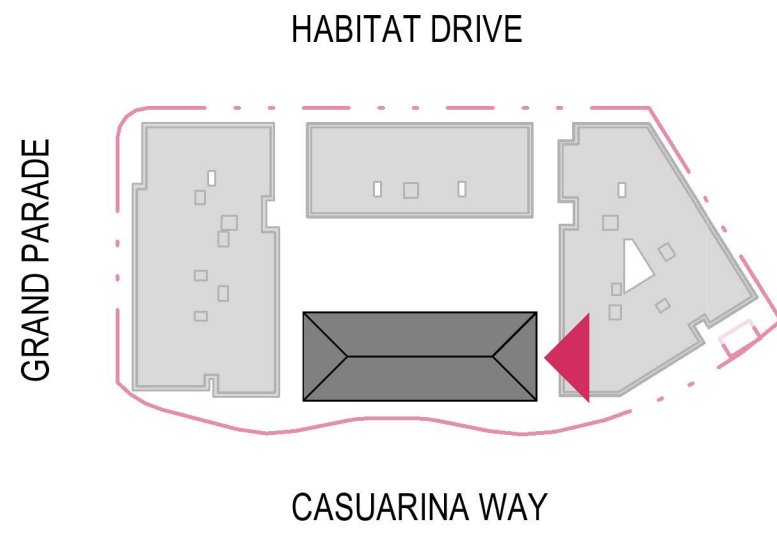
REV. DRAWING NO.
2 DA 207



1 Elevation - Building D - North
1:100



2 Elevation - Building D - South
1:100



REVISION

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ISSUE PURPOSE

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DRAWN	DATE	CHECKED	JOB NO.
RJ	15.12.2023	DF	21 504

SCALE
As indicated @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE
Elevations - Building D (N, S)

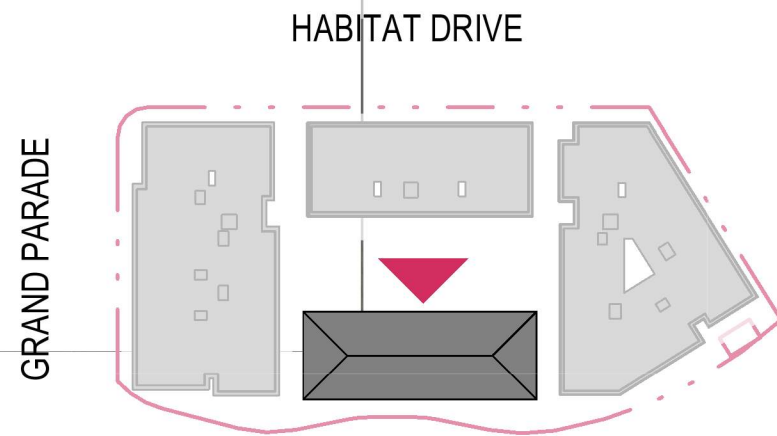
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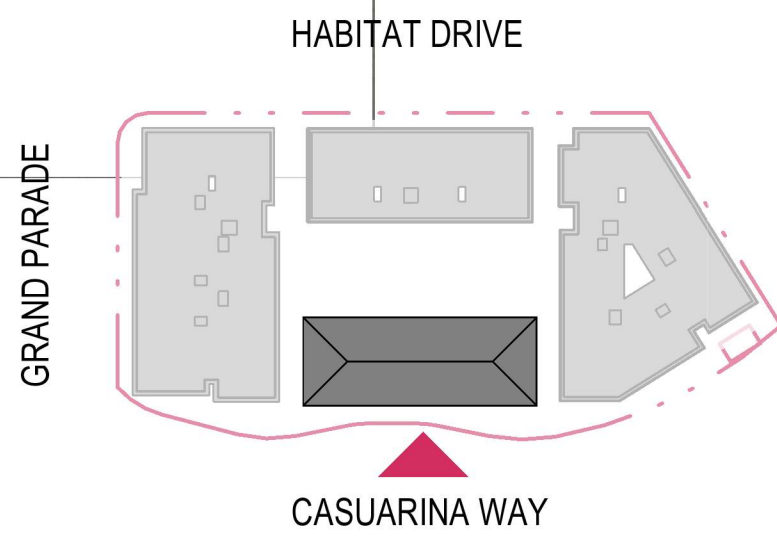
REV.	DRAWING NO.
2	DA 208



1 Elevation - Building D - East
1:100



2 Elevation - Building D - West
1:100



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ISSUE PURPOSE

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DRAWN	DATE	CHECKED	JOB NO.
DF	15.12.2023	NJA	21 504

SCALE
As indicated @ A1

PROJECT

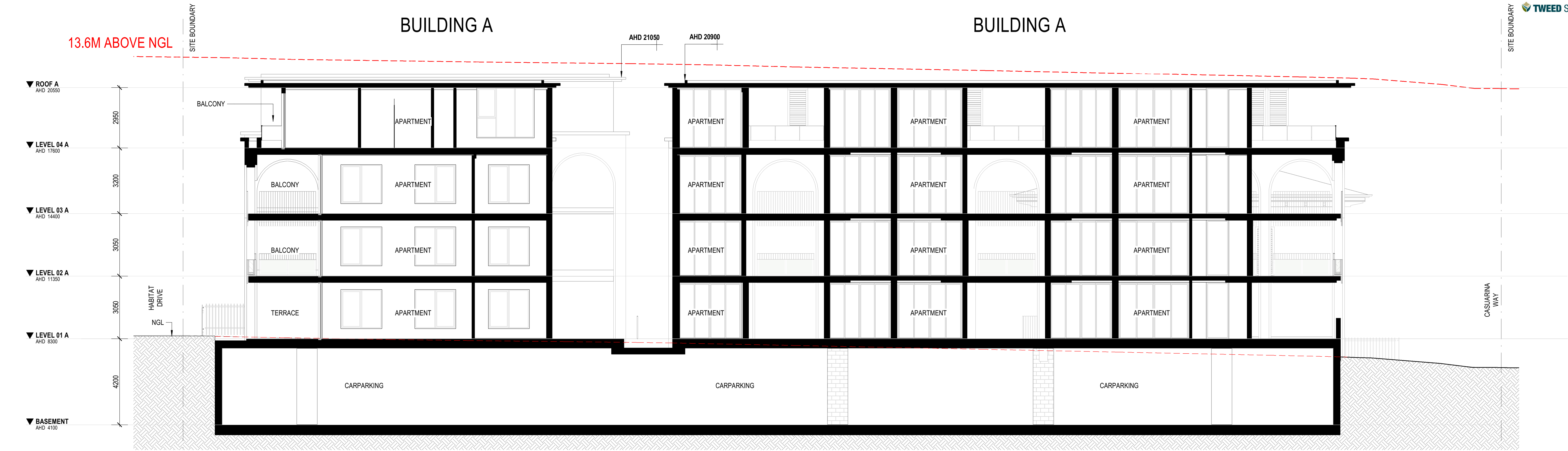
6 GRAND PARADE BY AZURE

DRAWING TITLE
Elevations - Building D (E, W)

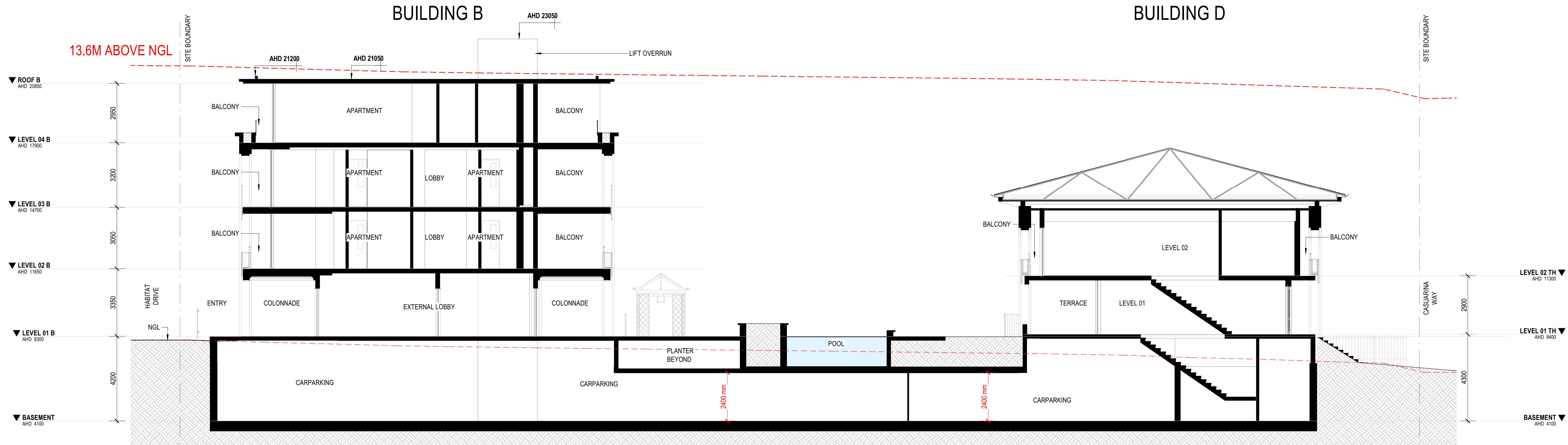
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REV. 2
DRAWING NO. DA 209



1 Section - Building A (E,W)
1:100



2 Section - Building B/D (E,W)
1:100

REVISION

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2	DA RFI ISSUE

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DRAWN	DATE	CHECKED	JOB NO.
KRE	15.12.2023	NJA	21 504

SCALE
1:100 @ A1

PROJECT

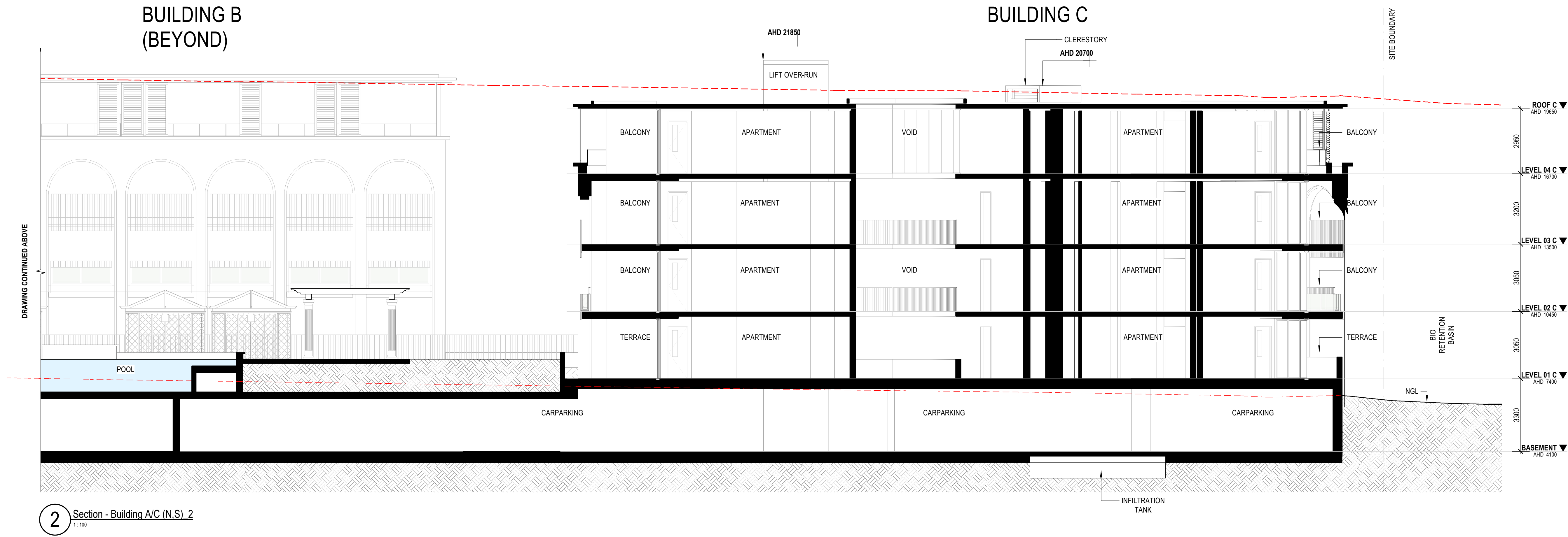
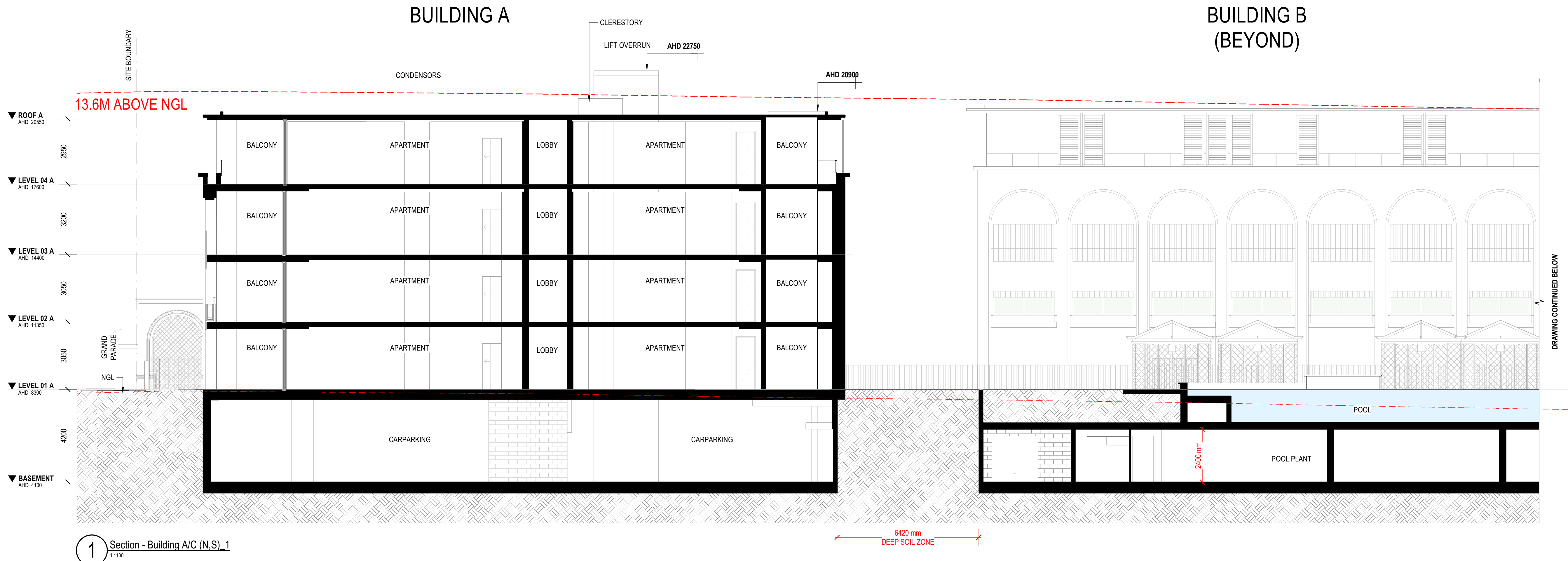
6 GRAND PARADE BY AZURE

DRAWING TITLE
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REV. DRAWING NO.
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2	DA RFI ISSUE

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KRE	15.12.2023	NJA	21 504

SCALE
1:100 @ A1

PROJECT

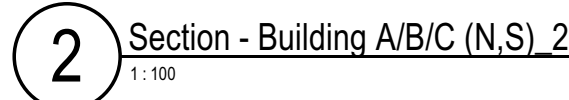
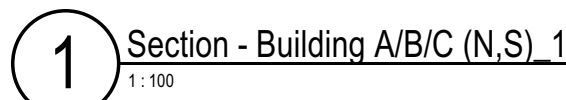
6 GRAND PARADE BY AZURE

DRAWING TITLE
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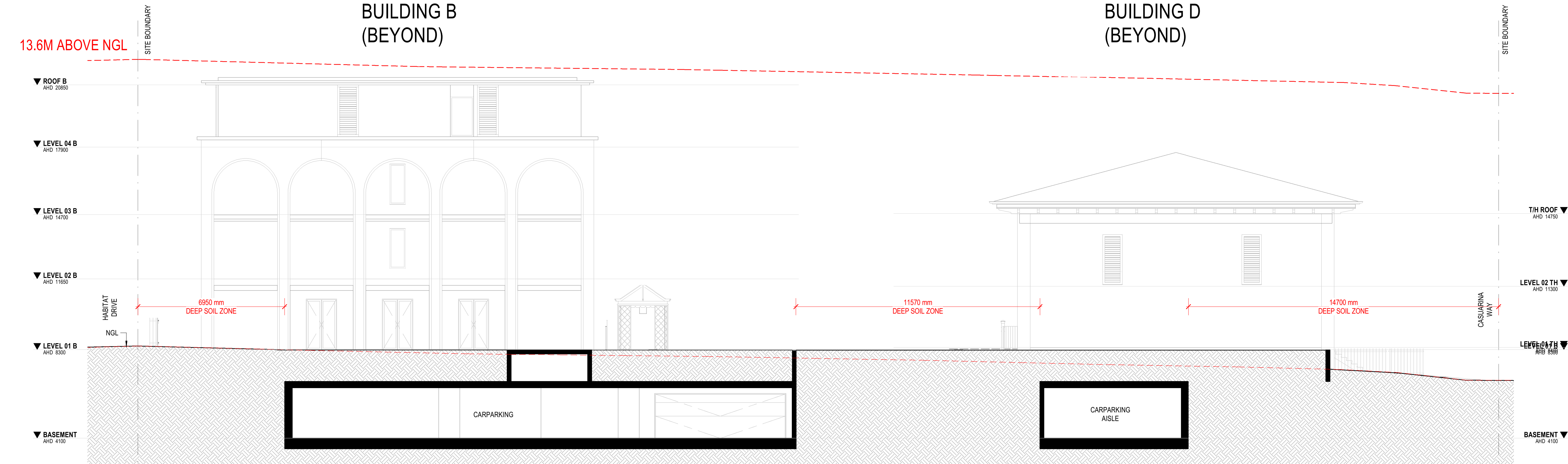
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BRISBANE 4000 AUSTRALIA
CONRAD GARGETT GROUP PTY LTD
ACN 636 465 373 ABN 81 636 465 373

REV. 2
DRAWING NO. DA 211



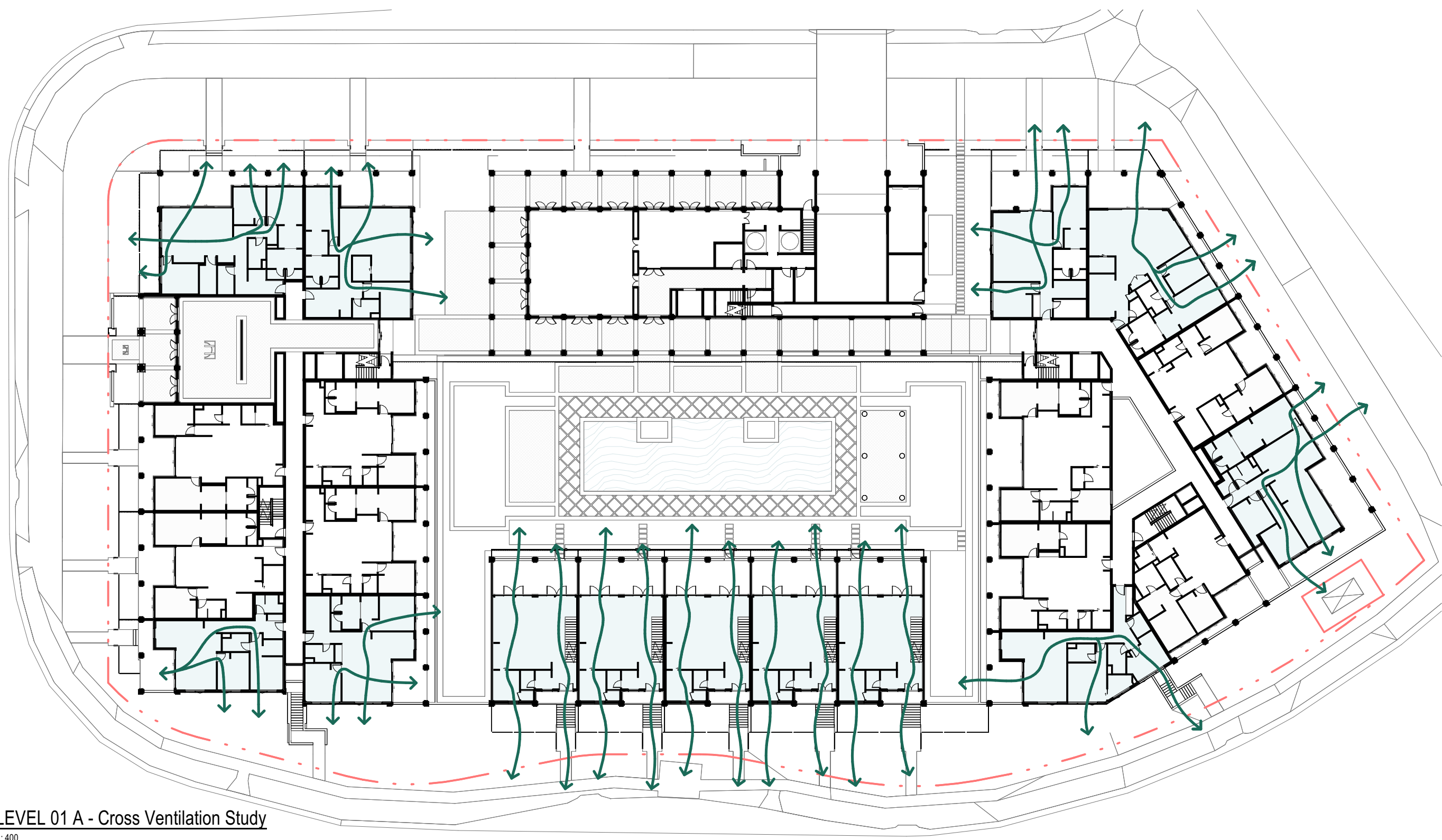
CONRAD GARGETT
WWW.CONRADGARGETT.COM.AU
L26 240 QUEEN STREET
BRISBANE 4000 AUSTRALIA
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REV. DRAWING NO.
2 DA 212



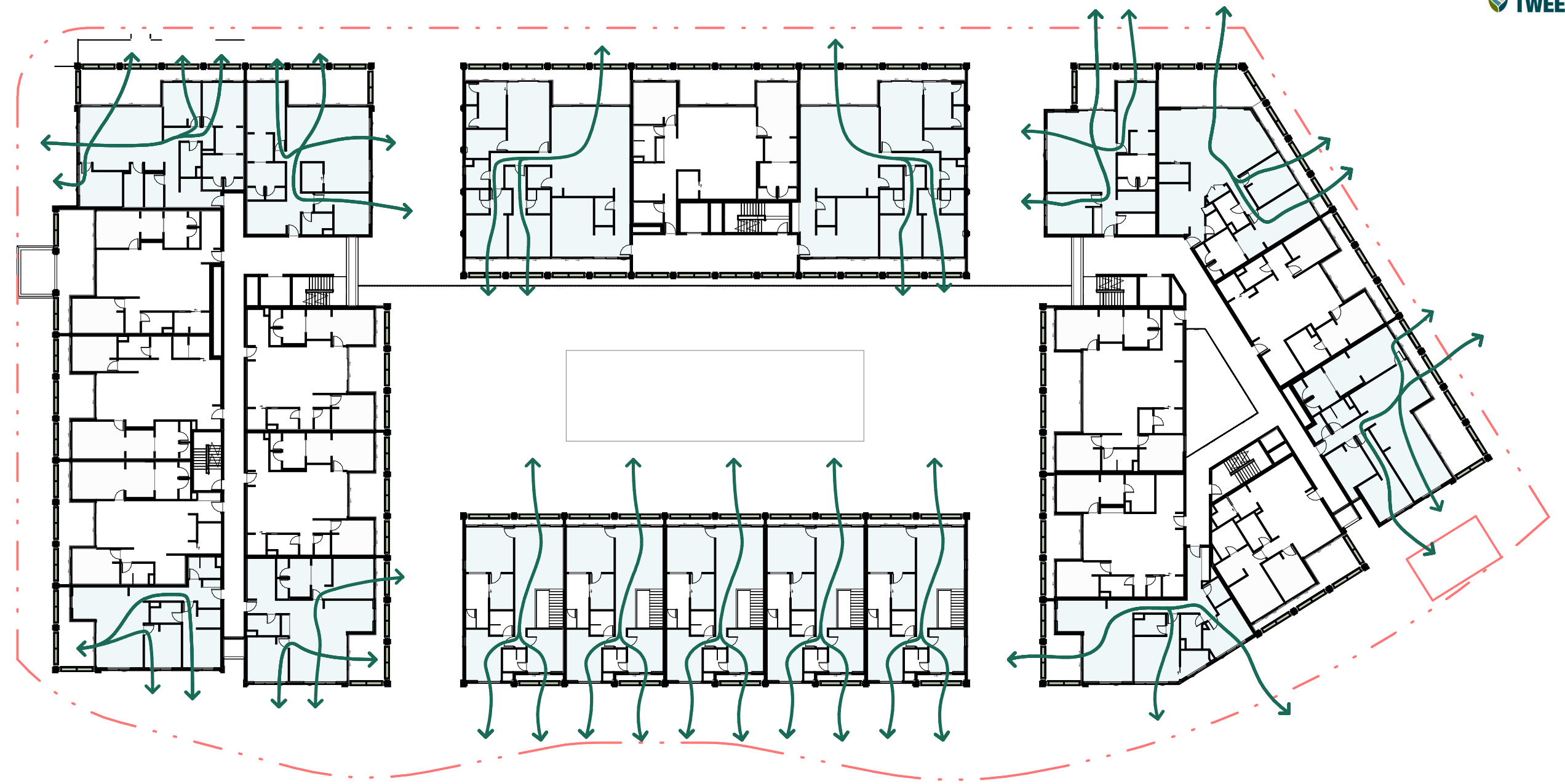
1 Section - Deep Soil Zones
1 : 100

REVISION		CLIENT	QUALITY ASSURANCE	NOTES	PROJECT	CONRAD GARGETT	
1	DA RFI ISSUE						15.12.2023
ISSUE PURPOSE							
DA		AZURE	<p>THIS PROJECT IS SUBJECT TO THE CG QUALITY ASSURANCE SYSTEM</p> <p><input checked="" type="checkbox"/> SCHEMATIC / CONCEPT DESIGN REVIEW</p> <p><input type="checkbox"/> DESIGN DEVELOPMENT REVIEW</p> <p><input type="checkbox"/> TENDER DOCUMENTATION REVIEW</p> <p><input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW</p> <p>IF THIS DRAWING IS STAMPED 'UNCONTROLLED COPY' THEN IT IS TO BE CONSIDERED A DRAFT, SUBJECT TO REVISION WITHOUT NOTICE.</p>	<p>THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF CONRAD GARGETT PTY LTD.</p> <p>CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</p> <p>DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS.</p> <p>USE FIGURED DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS.</p> <p>NSW NOMINATED ARCHITECT: LAWRENCE TOALDO REG. 10255</p>	6 GRAND PARADE BY AZURE	<p>WWW.CONRADGARGETT.COM.AU</p> <p>L26 240 QUEEN STREET</p> <p>BRISBANE 4000 AUSTRALIA</p> <p>CONRAD GARGETT GROUP PTY LTD</p> <p>ACN 636 465 373 ABN 81 636 465 373</p>	
DRAWN	DATE	CHECKED	JOB NO.	SCALE	DRAWING TITLE	REV.	DRAWING NO.
KRE	15.12.2023	NJA	21 504	1 : 100 @ A1	Sections	1	DA 213



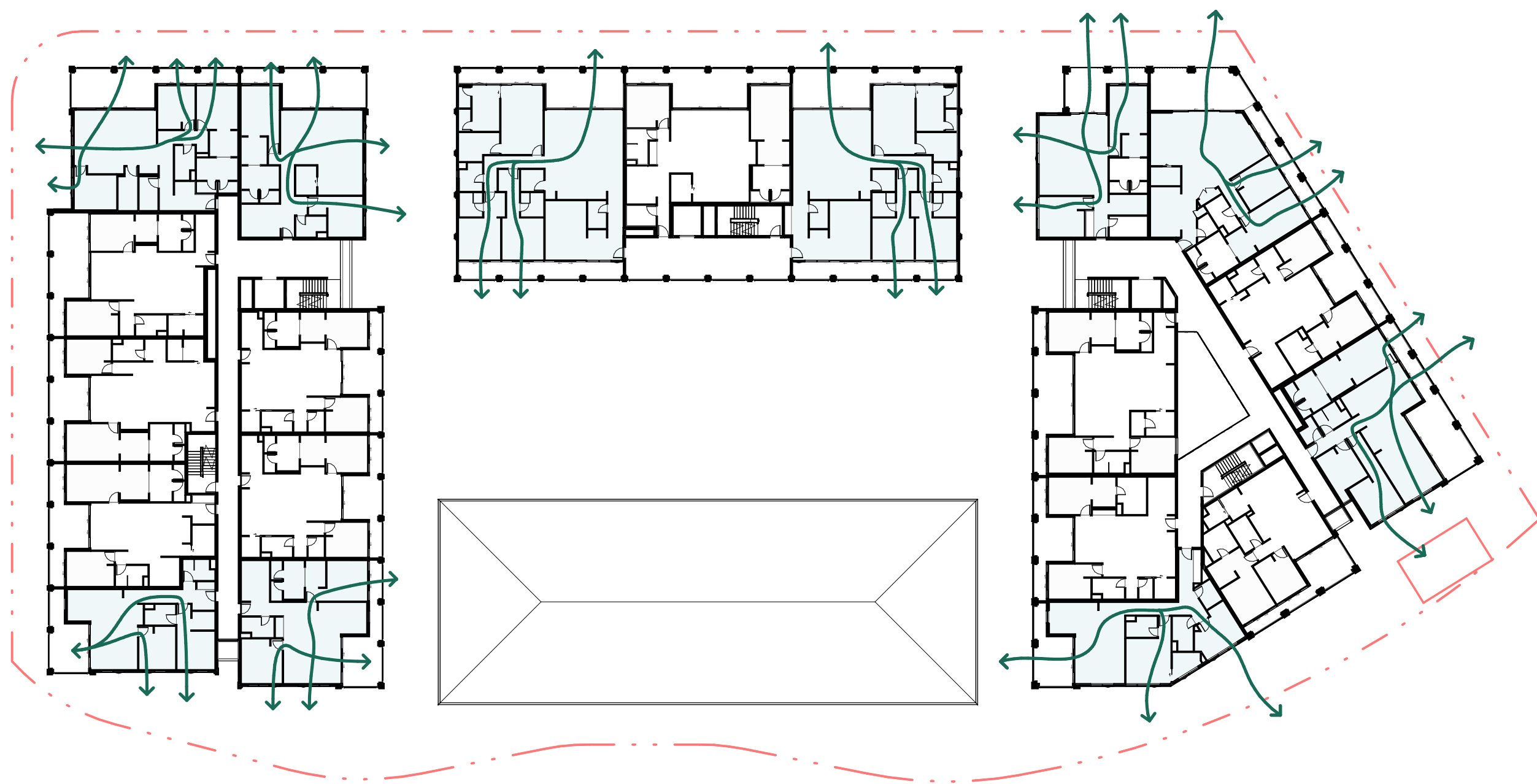
1 LEVEL 01 A - Cross Ventilation Study
1:400

Cross Ventilation: 13 of 21 units



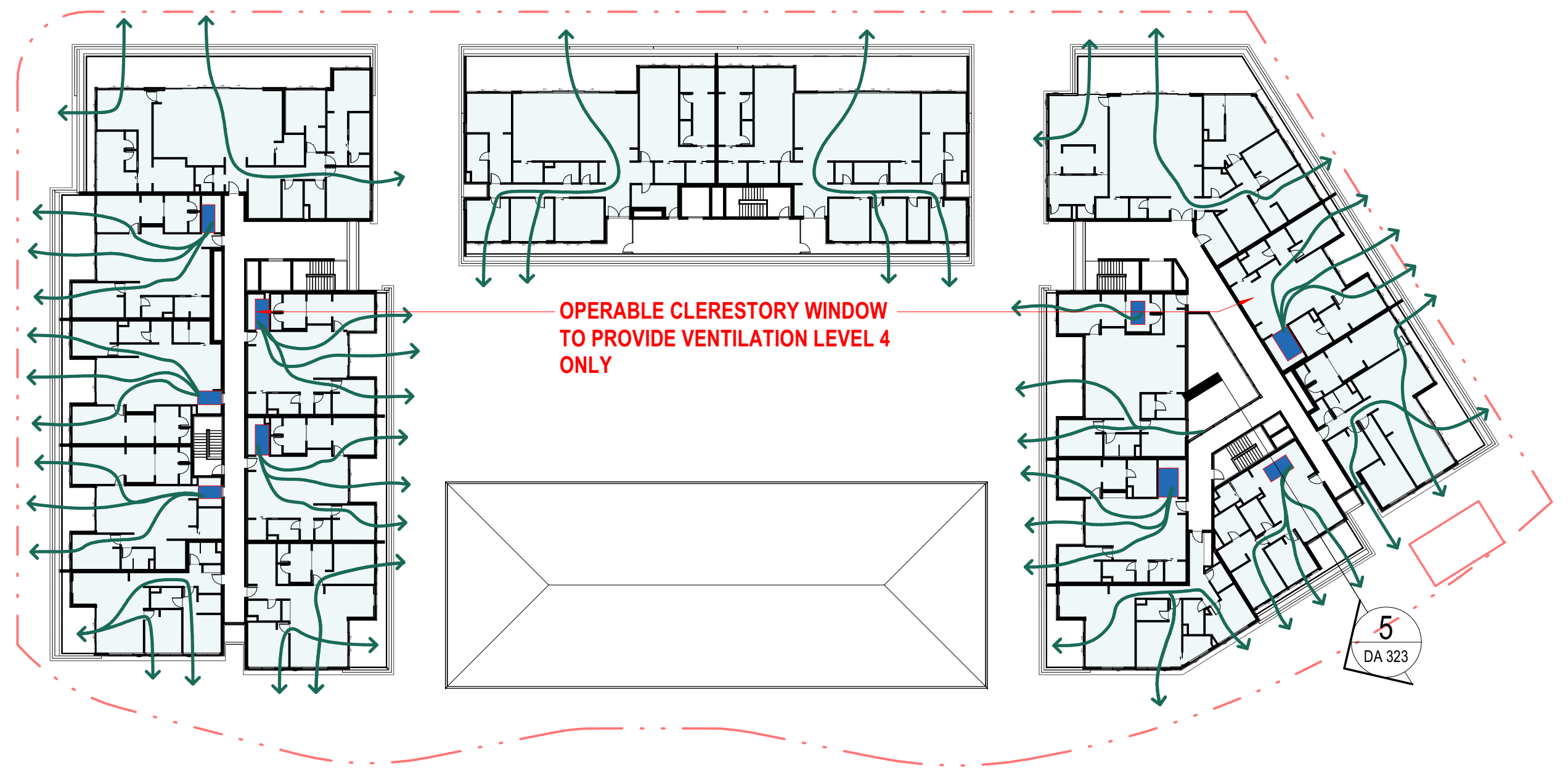
2 LEVEL 02 A - Cross Ventilation Study
1:400

Cross Ventilation: 10 of 20 units
(excluding Building D)



3 LEVEL 03 A - Cross Ventilation Study
1:400

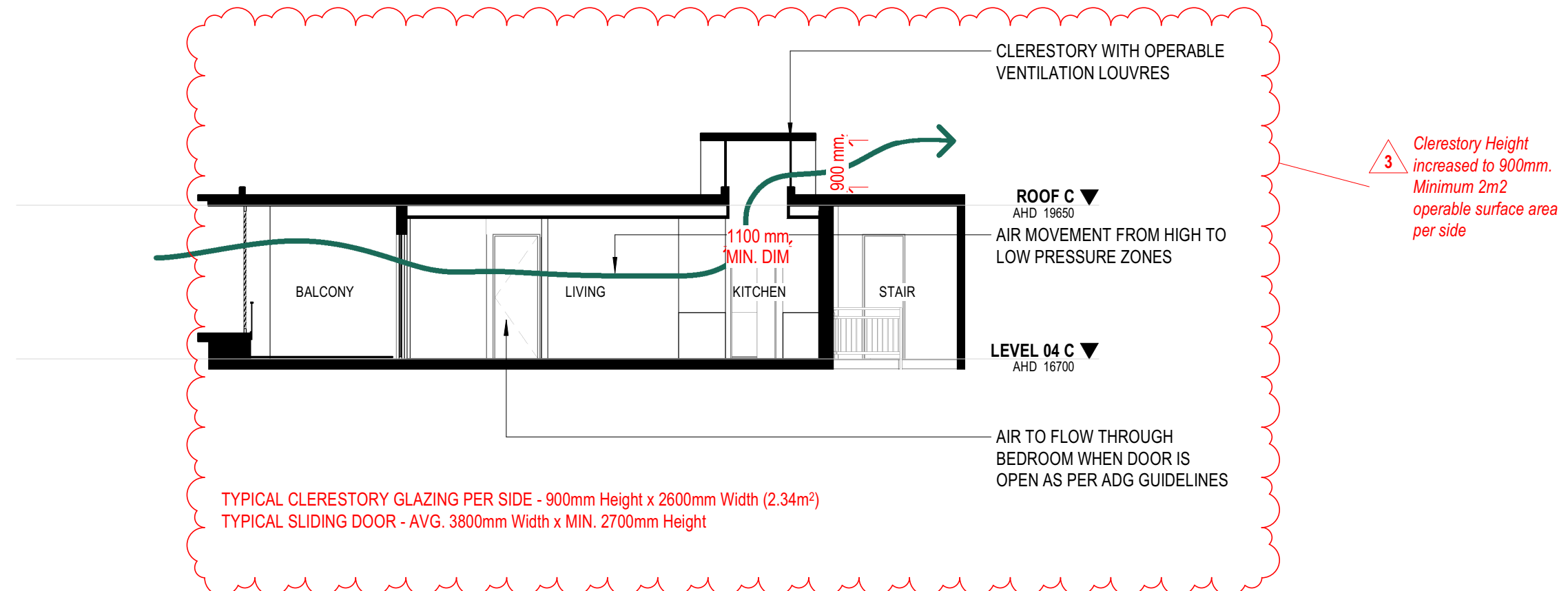
Cross Ventilation: 10 of 20 units



4 LEVEL 04 A - Cross Ventilation Study
1:400

Cross Ventilation: 17 of 17 units

Total Cross Ventilation: 50 of 78 units / 64.1%



5 Typical Clerestory Ventilation Section
1:100

REVISION

1	DA RFI ISSUE
2	DA RFI ISSUE
3	Issued for Information

14.08.2023
15.12.2023
19.02.2024

CLIENT

ÅZURE

ISSUE PURPOSE

DA

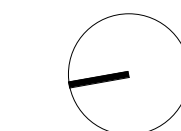
QUALITY ASSURANCE

THIS PROJECT IS SUBJECT TO THE CG QUALITY ASSURANCE SYSTEM
☒ SCHEMATIC / CONCEPT DESIGN REVIEW
☐ DESIGN DEVELOPMENT REVIEW
☐ TENDER DOCUMENTATION REVIEW
☐ CONSTRUCTION DOCUMENTATION REVIEW
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NSW NOMINATED ARCHITECT: LAWRENCE TOALDO REG. 10255

DRAWN	DATE	CHECKED	JOB NO.
KRE	19.02.2024	NJA	21 504



SCALE
As indicated @ A1

PROJECT

6 GRAND PARADE BY AZURE

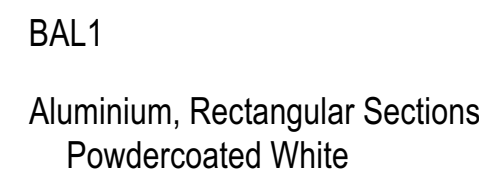
DRAWING TITLE
Ventilation Diagram

CONRAD GARGETT

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L26 240 QUEEN STREET
BRISBANE 4000 AUSTRALIA
CONRAD GARGETT GROUP PTY LTD
ACN 636 465 373 ABN 81 636 465 373

REV. DRAWING NO.
3 DA 323

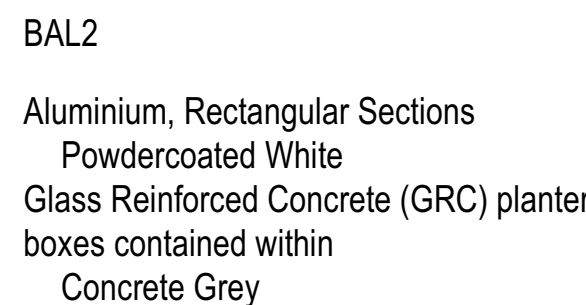
BAL1	BALUSTRADE, ALUM
BAL2	BALUSTRADE, GRC PLANTER + ALUM
BAL3	BALUSTRADE, ALUM + GLASS
CNR	CONCRETE, RENDERED
FEN	FENCE
GAT	GATE, ALUM
GL	GLASS (Safety, Clear) - omitted from this schedule
SCR1	SCREEN, ALUM
SCR2	SCREEN, ALUM
SCR3	SCREEN, ALUM



CNR
Concrete, Polymer-modified or Acrylic
Render applied to surface
Render to be White



SCR1
Aluminium, Rectangular Sections
Powdercoated White



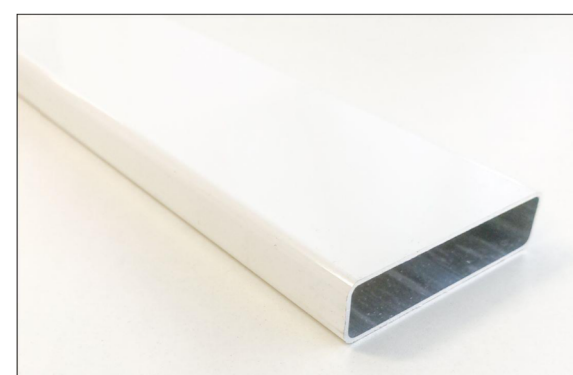
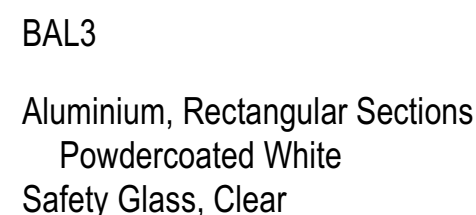
FEN

Aluminium, Rectangular and Square Sections
Powdercoated White



SCR2

Aluminium, Rectangular Sections
Powdercoated White

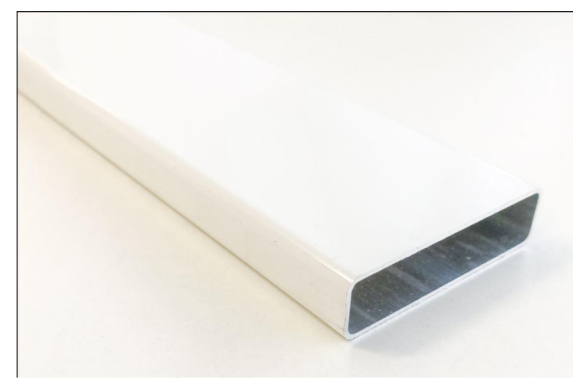


GAT

Posts

Concrete, Polymer-modified or Acrylic Render
applied to Surface
Render to be White

Gate
Aluminium, Rectangular and Square Sections
Powdercoated White



SCR3
Aluminium, Rectangular Sections
Powdercoated White

REVISION		CLIENT	QUALITY ASSURANCE		NOTES		PROJECT			
1	Issued for Information	19.02.2024	<div><div>AZURE</div><div>ISSUE PURPOSE</div><div>DA</div></div>		<div><div>THIS PROJECT IS SUBJECT TO THE QG QUALITY ASSURANCE SYSTEM</div><div><div><input checked="" type="checkbox"/> SCHEMATIC / CONCEPT DESIGN REVIEW</div><div><input type="checkbox"/> DESIGN DEVELOPMENT REVIEW</div><div><input type="checkbox"/> TENDER DOCUMENTATION REVIEW</div><div><input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW</div></div><div>IF THIS DRAWING IS STAMPED 'UNCONTROLLED COPY' THEN IT IS TO BE CONSIDERED A DRAFT, SUBJECT TO REVISION WITHOUT NOTICE.</div></div>		<div><div>THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF CONRAD GARGETT PTY LTD. CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS. NSW NOMINATED ARCHITECT: LAWRENCE TOLDO REG. 10255</div><div><div>DRAWNDATEDRAWNDATECHECKEDJOB NO.SCALE</div><div>DF19.02.2024NJAZ1 5041 : 50 @ A1</div></div></div>		<div><div>6 GRAND PARADE by AZURE</div><div>REV.DRAWING NO.</div><div>1DA 220</div></div>	

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1312417M_06

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1312417M lodged with the consent authority or certifier on 07 July 2022 with application PAN-235014.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary

Date of issue: Friday, 09 February 2024

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary

Project name	6 Grand Parade _06
Street address	6 GRAND PARADE CASUARINA 2487
Local Government Area	TWEED
Plan type and plan number	Deposited Plan 1264557
Lot no.	46
Section no.	-
No. of residential flat buildings	4
No. of units in residential flat buildings	78
No. of multi-dwelling houses	0
No. of single dwelling houses	0

Project score

Water	✓ 46	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 44	Target 40

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408



Certificate Prepared by

Name / Company Name: ADP Consulting

ABN (if applicable):

Description of project

THIS IS THE PLAN REFERRED
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CONSENT NO. DA22/0408



Project address

Project name	6 Grand Parade _06
Street address	6 GRAND PARADE CASUARINA 2487
Local Government Area	TWEED
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Lot no.	46
Section no.	-

Project type

No. of residential flat buildings	4
No. of units in residential flat buildings	78
No. of multi-dwelling houses	0
No. of single dwelling houses	0

Site details

Site area (m²)	7338.34
Roof area (m²)	4209.58
Non-residential floor area (m²)	0.00
Residential car spaces	154
Non-residential car spaces	20

Common area landscape

Common area lawn (m²)	168.53
Common area garden (m²)	1083.94
Area of indigenous or low water use species (m²)	0.00

Assessor details and thermal loads

Assessor number	HERA10210
Certificate number	HR-YLD0IX-06
Climate zone	10
Ceiling fan in at least one bedroom	Yes
Ceiling fan in at least one living room or other conditioned area	Yes

Project score

Water	✓ 46	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 44	Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building A, 34 dwellings, 4 storeys above ground



Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2AL2	2	107.4	0.00	0.00	0.00
2BL2	2	111.4	0.00	0.00	0.00
2CL2	2	104.4	0.00	0.00	0.00
2DL2	2	82.4	0.00	0.00	0.00
2EL2	2	100.00	0.00	0.00	0.00
2F1L2	2	97.6	0.00	0.00	0.00
2F2L2	2	98.6	0.00	0.00	0.00
2GL2	2	116.5	0.00	0.00	0.00
3AL3	3	127.2	0.00	0.00	0.00

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2AL3	2	107.4	0.00	0.00	0.00
2BL3	2	111.4	0.00	0.00	0.00
2CL3	2	104.4	0.00	0.00	0.00
2DL3	2	82.4	0.00	0.00	0.00
2EL3	2	100.00	0.00	0.00	0.00
2F1L3	2	97.6	0.00	0.00	0.00
2F2L3	2	98.6	0.00	0.00	0.00
2GL3	2	116.5	0.00	0.00	0.00
4AL4	4+	220.5	0.00	0.00	0.00

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2AL4	2	108.5	0.00	0.00	0.00
2BL4	2	111.4	0.00	0.00	0.00
2CL4	2	104.4	0.00	0.00	0.00
2DL4	2	82.4	0.00	0.00	0.00
2EL4	2	100.00	0.00	0.00	0.00
2F1L4	2	97.6	0.00	0.00	0.00
2F2L4	2	98.6	0.00	0.00	0.00
3AL1	3	127.2	0.00	0.00	0.00

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2BL1	2	111.4	0.00	0.00	0.00
2CL1	2	104.4	0.00	0.00	0.00
2DL1	2	82.4	0.00	0.00	0.00
2EL1	2	100.00	0.00	0.00	0.00
2F1L1	2	97.6	0.00	0.00	0.00
2F2L1	2	98.6	0.00	0.00	0.00
2GL1	2	116.5	0.00	0.00	0.00
3AL2	3	127.2	0.00	0.00	0.00

Residential flat buildings - Building B, 8 dwellings, 3 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2HL2	2	129.3	0.00	0.00	0.00
3B2L2	3	188.5	0.00	0.00	0.00

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2HL4	2	129.3	0.00	0.00	0.00
3B2L3	3	185.00	0.00	0.00	0.00

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3B1L2	3	185.00	0.00	0.00	0.00
4BL4	4+	236.00	0.00	0.00	0.00

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3B1L3	3	188.5	0.00	0.00	0.00
4CL4	4+	229.4	0.00	0.00	0.00

Residential flat buildings - Building C, 31 dwellings, 4 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2IL1	2	103.2	0.00	0.00	0.00
2JL2	2	99.00	0.00	0.00	0.00
2KL2	2	98.9	0.00	0.00	0.00
2LL2	2	91.00	0.00	0.00	0.00
2ML2	2	95.8	0.00	0.00	0.00
2NL2	2	130.00	0.00	0.00	0.00
3CL3	3	126.9	0.00	0.00	0.00
3DL3	3	118.9	0.00	0.00	0.00
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2IL2	2	103.2	0.00	0.00	0.00
2JL3	2	99.00	0.00	0.00	0.00
2KL3	2	98.9	0.00	0.00	0.00
2LL3	2	91.00	0.00	0.00	0.00
2ML3	2	95.8	0.00	0.00	0.00
2NL3	2	130.00	0.00	0.00	0.00
3CL4	3	126.9	0.00	0.00	0.00
3DL4	3	118.9	0.00	0.00	0.00
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2IL3	2	103.2	0.00	0.00	0.00
2JL4	2	99.00	0.00	0.00	0.00
2KL4	2	98.9	0.00	0.00	0.00
2LL4	2	91.00	0.00	0.00	0.00
2ML4	2	95.8	0.00	0.00	0.00
3CL1	3	126.9	0.00	0.00	0.00
3DL1	3	118.9	0.00	0.00	0.00
4DL4	4+	221.00	0.00	0.00	0.00
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2JL1	2	99.00	0.00	0.00	0.00
2KL1	2	98.9	0.00	0.00	0.00
2LL1	2	91.00	0.00	0.00	0.00
2ML1	2	95.8	0.00	0.00	0.00
2NL1	2	130.00	0.00	0.00	0.00
3CL2	3	126.9	0.00	0.00	0.00
3DL2	3	118.9	0.00	0.00	0.00

Residential flat buildings - Building D, 5 dwellings, 2 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3G1L1	3	220.7	0.00	26.86	0.00
3G5L1	3	220.9	0.00	34.75	0.00
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3G2L1	3	221.2	0.00	29.8	0.00
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3G3L1	3	220.9	0.00	34.81	0.00
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3G4L1	3	220.2	0.00	33.62	0.00

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TO IN DEVELOPMENT
CONSENT NO. DA22/0408



Description of project

The tables below describe the dwellings and common areas within the project

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CONSENT NO. DA22/0408

Common areas of the development (non-building specific)



Common area	Floor area (m²)
Car park area	5134.92
Plant or service rooms	49.19
Store Rooms	69.68

Common area	Floor area (m²)
Bike Store	16.24
MSSB + Comms	31.27
Hallway	770.79

Common area	Floor area (m²)
Bin Rooms	69.68
Stairs	240.89

Common areas of unit building - Building A

Common area	Floor area (m²)
Lift car (No. 1)	0.00

Common area	Floor area (m²)
Hallway/lobby type (No. 2)	132.79

Common areas of unit building - Building B

Common area	Floor area (m²)
Fitness	50.9
Lounge	108.26

Common area	Floor area (m²)
Lift car (No. 2)	0.00
Lobby	33.18

Common area	Floor area (m²)
Toilets	6.21
Spa and Sauna	50.67

Common areas of unit building - Building C

Common area	Floor area (m²)
Lift car (No. 3)	0.00

Schedule of BASIX commitments

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CONSENT NO. DA22/0408



1. Commitments for Residential flat buildings - Building A

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

2. Commitments for Residential flat buildings - Building B

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

3. Commitments for Residential flat buildings - Building C

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

4. Commitments for Residential flat buildings - Building D

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

5. Commitments for single dwelling houses

6. Commitments for multi-dwelling houses

7. Commitments for common areas and central systems/facilities for the development (non-building specific)

(a) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, on complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
granted, on complying
408

1. Commitments for Residential flat buildings - Building A



(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	4 star	no	4 star	4 star	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	No alternative water supply	-	THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408	-	-	-	-	-
All dwellings	No alternative water supply	-	-	-	-	-	-	-



(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

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	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	Central hot water system (No. 1)	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or diningroom	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
4AL4	Central cooling system (No. 1)(zoned)	Central cooling system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	4(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or diningroom	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
3AL1, 3AL2, 3AL3	Central cooling system (No. 1)(zoned)	Central cooling system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	3(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no
All other dwellings	Central cooling system (No. 1)(zoned)	Central cooling system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	2	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	induction cooktop & electric oven	not specified	yes	4 star	4 star	5 star	yes	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.		THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408	
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

Dwelling no.	Thermal loads	
	Area adjusted heating load (in MJ/m²/yr)	Area adjusted cooling load (in MJ/m²/yr)
2AL2	2.6	14
2AL3	2.8	13.9
2AL4	8.7	22
2BL1	5.9	17.2
2BL2	1	10.6
2BL3	1.1	10.9
2BL4	6.8	17
2CL1	4.9	21.6
2CL2	0.9	13.7
2CL3	1	13.3
2CL4	5.3	20.3
2DL1	4.4	41.3
2DL2	3.3	30.7

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	Thermal loads	
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)
2DL3	3.6	29.8
2DL4	13.3	34.3
2EL1	18	35.9
2EL2	10.7	31.5
2EL3	10.7	30.9
2EL4	17.4	38.7
2F1L1	18.6	20.1
2F1L2	9.4	12.9
2F1L3	9.5	13.1
2F1L4	14.3	22.3
2F2L1	17.9	19.2
2F2L2	9.5	12.7
2F2L3	9.8	12.3
2F2L4	14.9	21.4
2GL1	17.00	23
2GL2	12.9	25.1
2GL3	13.3	25.2
3AL1	5.1	40.8
3AL2	1.2	36.2
3AL3	1.9	38.2
All other dwellings	12.7	32.2

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(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

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	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Lift car (No. 1)	-	-	light-emitting diode	connected to lift call button	no
Hallway/lobby type (No. 2)	no mechanical ventilation	-	light-emitting diode	motion sensors	no

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 5

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2. Commitments for Residential flat buildings - Building B


(a) Dwellings



(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but ≤ 7.5 L/min)	4 star	4 star	4 star	no	4 star	4 star	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	No alternative water supply	-	- THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408	-	-	-	-	-
All dwellings	No alternative water supply	-	-	-	-	-	-	-

				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(ii) Energy						
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.						
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.				✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.					✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.					✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.					✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.				✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.					✓ ✓	
(h) The applicant must install in the dwelling:						


(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below;		✓	
(bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and		✓	✓
(cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	Central hot water system (No. 1)	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or diningroom	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
2HL2, 2HL4	Central cooling system (No. 1)(zoned)	Central cooling system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	2(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no
4BL4, 4CL4	Central cooling system (No. 1)(zoned)	Central cooling system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	4(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no
All other dwellings	Central cooling system (No. 1)(zoned)	Central cooling system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	3(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no

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	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/ oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	induction cooktop & electric oven	not specified	yes	4 star	4 star	5 star	yes	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.		THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408	
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate.	✓		

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

	Thermal loads	
Dwelling no.	Area adjusted heating load (in MJ/m²/yr)	Area adjusted cooling load (in MJ/m²/yr)
2HL2	3.5	21.1
2HL4	3.1	19.8
3B1L2	6.2	43.3
3B1L3	2.5	41.5
3B2L2	9	38.6
3B2L3	4.7	39
4BL4	12.5	32.1
All other dwellings	14.3	31.1

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(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

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	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Fitness	air conditioning system	time clock or BMS controlled	light-emitting diode	manual on / manual off	no
Lift car (No. 2)	-	-	light-emitting diode	connected to lift call button	no
Toilets	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	motion sensors	no
Lounge	air conditioning system	time clock or BMS controlled	light-emitting diode	motion sensors	no
Lobby	air conditioning system	none i.e., continuous	light-emitting diode	motion sensors	no
Spa and Sauna	ventilation (supply + exhaust)	time clock or BMS controlled	light-emitting diode	motion sensors	no

Central energy systems	Type	Specification
Sauna (No. 1)	Heating source: electric resistance	Efficiency measure: stand-by function
Lift (No. 2)	gearless traction with V V V F motor	Number of levels (including basement): 5

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3. Commitments for Residential flat buildings - Building C


(a) Dwellings








(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but ≤ 7.5 L/min)	4 star	4 star	4 star	no	4 star	4 star	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	No alternative water supply	-	- THIS IS THE PLAN REFERRED TO IN DEVELOPMENT	-	-	-	-	-
All dwellings	No alternative water supply	-	- CONSENT NO. DA22/0408	-	-	-	-	-

(ii) Energy 				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.						
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.				✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.					✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.					✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.					✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.				✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.					✓ ✓	
(h) The applicant must install in the dwelling:						

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		  	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".			

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	Central hot water system (No. 1)	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light


	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or diningroom	Each kitchen	All bathrooms/ toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
4DL4	Central cooling system (No. 1)(zoned)	Central cooling system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	4(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no
3CL1, 3CL2, 3CL3, 3CL4, 3DL1, 3DL2, 3DL3, 3DL4	Central cooling system (No. 1)(zoned)	Central cooling system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	Central heating system (No. 1)(zoned)	3(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no
All other dwellings	Central cooling	Central cooling	Central heating	Central heating	2(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no

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	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or diningroom	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
	system (No. 1)(zoned)	system (No. 1)(zoned)	system (No. 1)(zoned)	system (No. 1)(zoned)								

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	induction cooktop & electric oven	not specified	yes	4 star	4 star	5 star	yes	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.		THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408	
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

	Thermal loads	
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)
2IL1	10.9	35.4
2IL2	4.5	35.7
2IL3	3.5	34.9
2JL1	8.3	17.3
2JL2	1.4	11.1
2JL3	1.1	11.3
2JL4	5.2	20.1
2KL1	11.8	32.1
2KL2	6.1	33.6
2KL3	3.9	31.3
2KL4	11.2	40
2LL1	11.8	37.6
2LL2	5.3	31.5
2LL3	5.6	29.1
2LL4	12.8	28
2ML1	12.2	23.8
2ML2	4.9	16.8
2ML3	5.2	15.9

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	Thermal loads	
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)
2ML4	9.8	29.3
2NL1	12.7	26.2
2NL2	5.3	21.8
2NL3	5.8	20.8
3CL1	9.1	26.1
3CL2	3.5	19.2
3CL3	3.8	18.5
3CL4	10.7	21.6
3DL1	15.2	37.3
3DL2	10.8	30.6
3DL3	11.5	29.3
3DL4	19.1	24.5
All other dwellings	11.8	29.2

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(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

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	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Lift car (No. 3)	-	-	light-emitting diode	connected to lift call button	no

Central energy systems	Type	Specification
Lift (No. 3)	gearless traction with V V V F motor	Number of levels (including basement): 5

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4. Commitments for Residential flat buildings - Building D

(a) Dwellings








(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

	Fixtures					Appliances		Individual pool				Individual spa		
Dwelling no.	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 6 but ≤ 7.5 L/min)	4 star	4 star	4 star	no	not specified	not specified	-	-	-	-	-	-	-

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	No alternative water supply	-	-	-	-	-	-	-
All dwellings	No alternative water supply	-	-	-	-	-	-	-



(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling:			

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		  	
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".			


	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	electric instantaneous	individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	interlocked to light

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or diningroom	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning / EER 3.0 - 3.5(zoned)	1-phase airconditioning / EER 3.0 - 3.5(zoned)	1-phase airconditioning / EER 3.0 - 3.5(zoned)	1-phase airconditioning / EER 3.0 - 3.5(zoned)	3(dedicated)	1(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	yes(dedicated)	0	no

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	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/ oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	induction cooktop & electric oven	not specified	yes	not specified	not specified	not specified	yes	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.		THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408	
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate.	✓		

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.		✓	

	Thermal loads	
Dwelling no.	Area adjusted heating load (in MJ/m²/yr)	Area adjusted cooling load (in MJ/m²/yr)
3G1L1	9.7	32.7
3G4L1	9.4	30.8
3G5L1	15.1	33
All other dwellings	8.5	31.4

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(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

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7. Commitments for common areas and central systems/facilities for the development (non-building specific)


(a) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Swimming pool (No. 1)	Volume: 200.00 kLs	Location: Other Pool shaded: no	-
Fire sprinkler system (No. 1)	-	So that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.	-

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Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	5000.00	To collect run-off from at least: - 3405.7 square metres of roof area of buildings in the development - 0.00 square metres of impervious area in the development - 0.00 square metres of garden/lawn area in the development - 0.00 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 1252.47 square metres of common landscaped area on the site THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408 

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/ BMS
Car park area	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	light-emitting diode	motion sensors	no
Bike Store	ventilation (supply + exhaust)	carbon monoxide monitor + VSD fan	light-emitting diode	motion sensors	no
Bin Rooms	air conditioning system	-	light-emitting diode	motion sensors	no
Plant or service rooms	ventilation (supply + exhaust)	none i.e., continuous	light-emitting diode	manual on / manual off	no
MSSB + Comms	air conditioning system	none i.e., continuous	light-emitting diode	manual on / manual off	no
Stairs	no mechanical ventilation	-	light-emitting diode	motion sensors	no
Store Rooms	air conditioning system	time clock or BMS controlled	light-emitting diode	motion sensors	no
Hallway	no mechanical ventilation	-	light-emitting diode	motion sensors	no

Central energy systems	Type	Specification
Swimming pool (No. 1)	Heating source: electric heat pump	Pump controlled by timer: yes
Central hot water system (No. 1)	electric heat pump – air sourced	Piping insulation (ringmain & supply risers): (a) Piping external to building: R0.6 (~25 mm); (b) Piping internal to building: R0.6 (~25 mm)
Central heating system (No. 1)	variable refrigerant volume units	Energy source: electric driven compressor + air sourced evaporator Unit efficiency medium – COP 3.5 – 5.5
Central cooling system (No. 1)	variable refrigerant volume units	Energy source: electric driven compressor Heat rejection method: air cooled condenser Unit efficiency (min): medium – COP 3.5 – 5.5
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 110.00 peak kW
Other	-	-

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Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

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