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| | | <input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW | NSW NOMINATED ARCHITECT: LAWRENCE TALDOR REG.10255 | | AAC3646373 A/B 8/166 4/36 | | | | | |
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| | | | | 51 13.12.2023 N/A 1:50 20@A Basement | 2 DA10 | | | | | |
| | | | | | | | | | | |
| ISSUE PURPOSE | | | DRAWN | DATE | CHECKED | JOB NO. | SCALE | DRAWING TITLE | REV. | DRAWING NO. |
| DA | | | DA | 13.12.2023 | N/A | 2150 | 1:20 @A | Basement | | |



REVISION

1 DA RFI ISSUE
2 DA RFI ISSUE

14.08.2023
15.12.2023

CLIENT

AZURE

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PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE

Level 01

CONRAD GARGETT

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REV. DRAWING NO.

2 DA 101



REVISION

1 DA RFI ISSUE
14.08.2023
15.12.2023

2 DA RFI ISSUE
15.12.2023

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DRAWN

DATE

CHECKED

JOB NO.

SCALE

DRAWING TITLE

DF

15.12.2023

NJA

21504

1 : 200 @ A1

Level 02

PROJECT

6 GRAND PARADE BY AZURE

REV.

DRAWING NO.

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Version: 1, Version Date: 26/03/2024



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1 DA RFI ISSUE
14.08.2023
2 DA RFI ISSUE
15.12.2023

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6 GRAND PARADE BY AZURE

1 : 200 @ A1
Level 03

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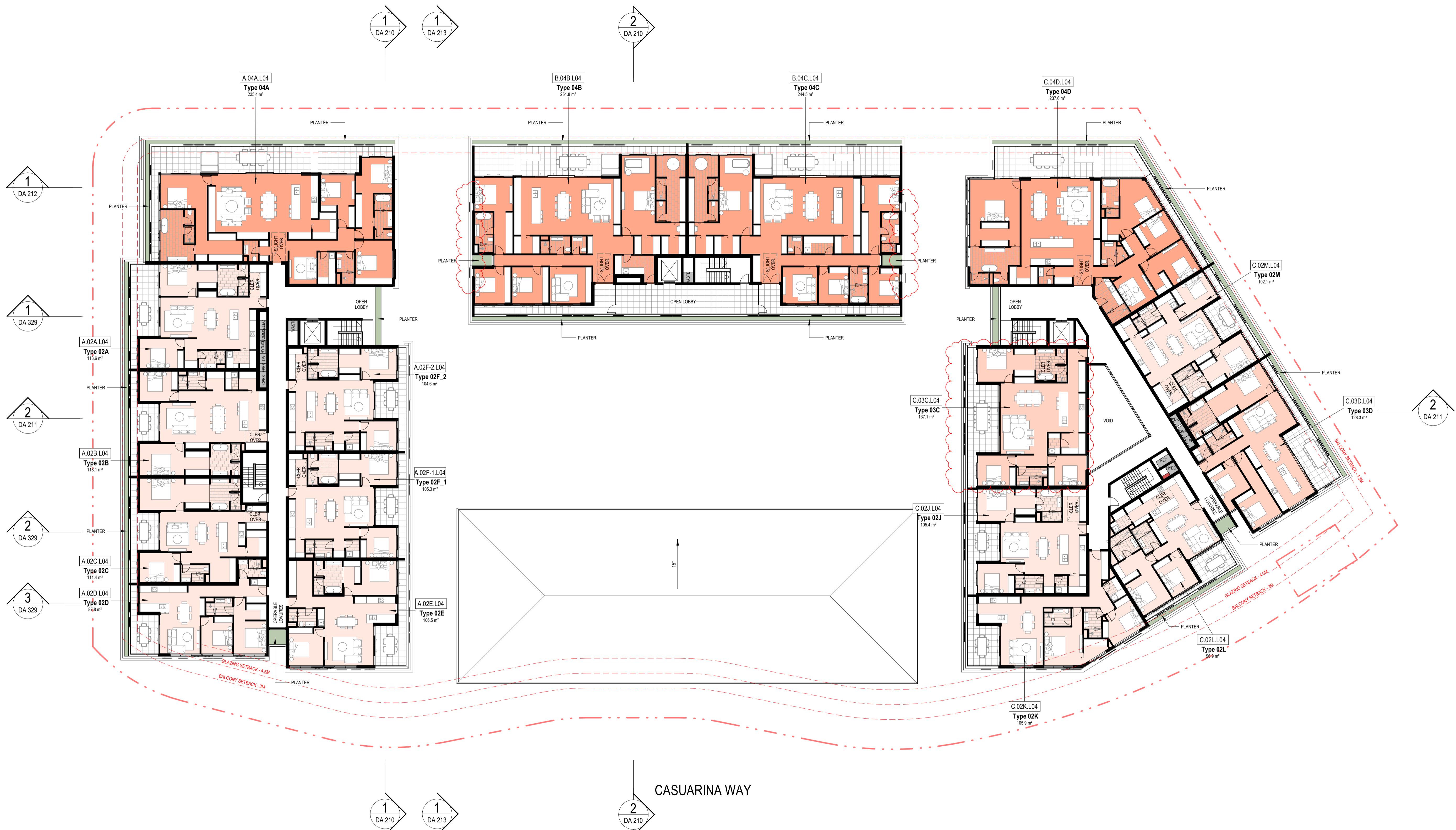
REV. DRAWING NO.

2 DA 103

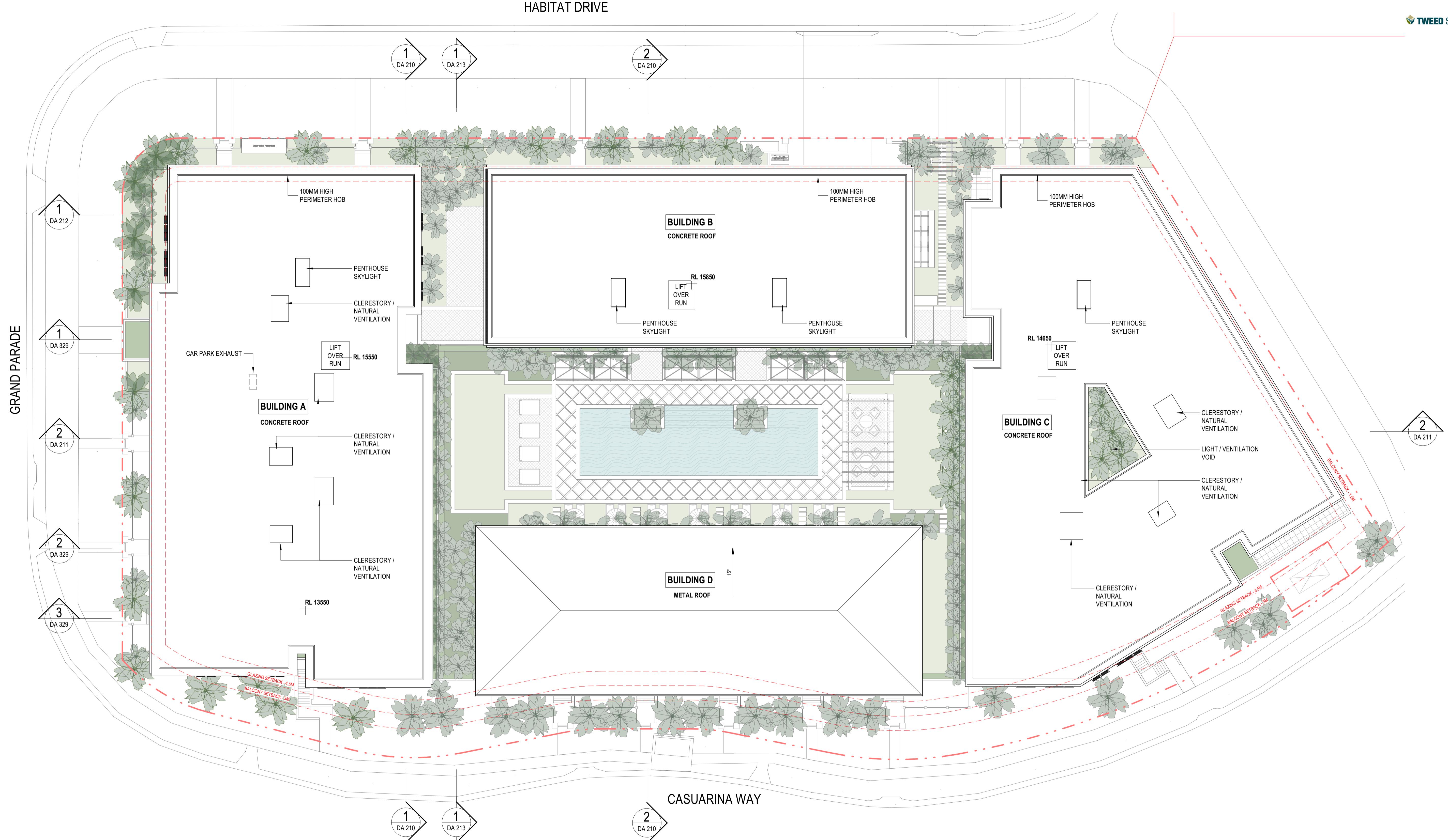
HABITAT DRIVE

GRAND PARADE

CASUARINA WA



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| | | <input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW | NSW NOMINATED ARCHITECT: LAWRENCE TALDORREGI 10255 | | A/CG/3646373 A/B/8163646373 | | |
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| DA | 15.12.2023 | JA | 2154 | 1 : 20 @ A1 | Level 4 | 2 | DA104 |



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DRAWN

DF

DATE

15.12.2023

CHECKED

NJA

JOB NO.

21504

SCALE

1 : 200 @ A1

PROJECT

6 GRAND PARADE BY AZURE

DRAWING TITLE

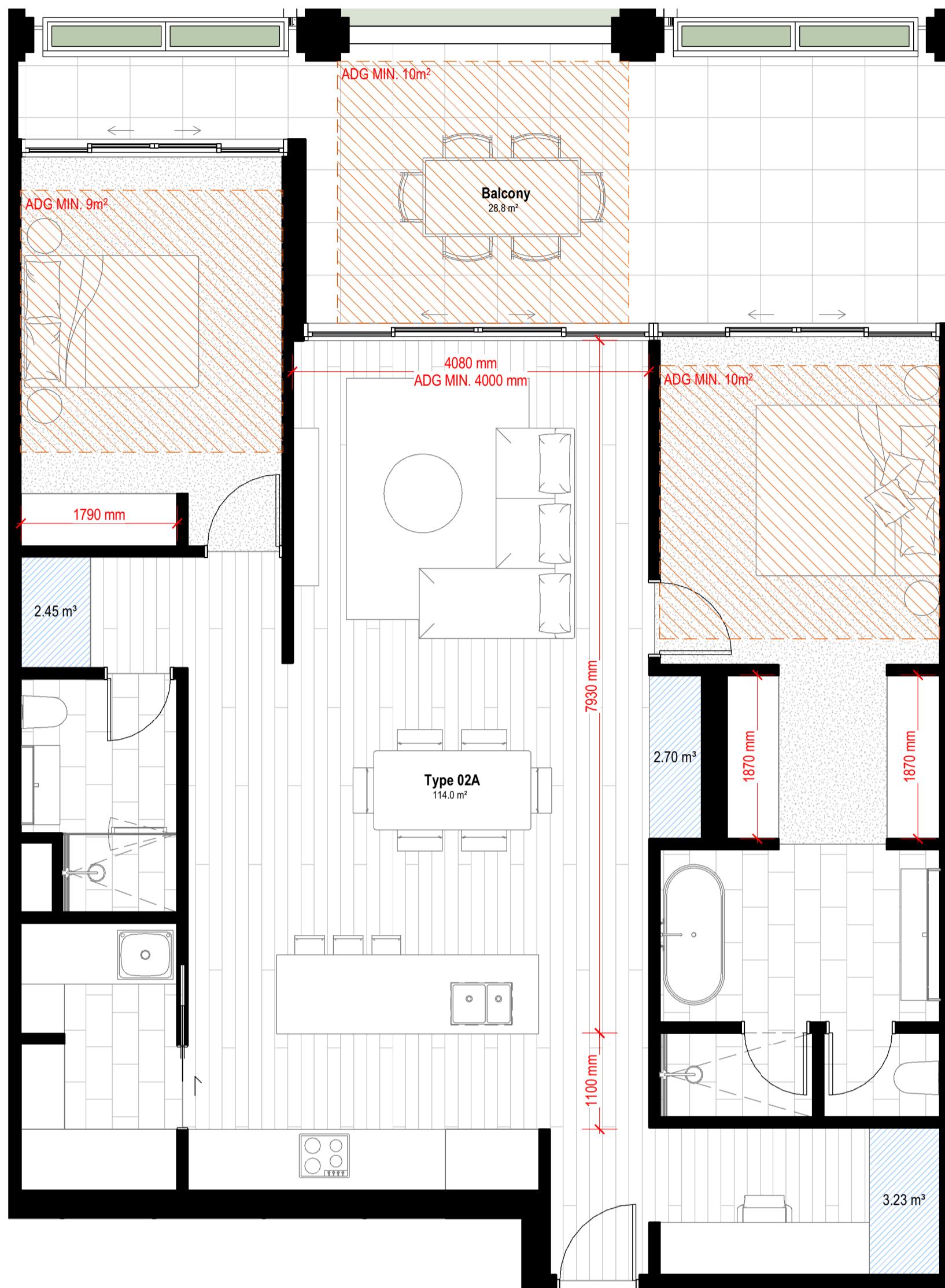
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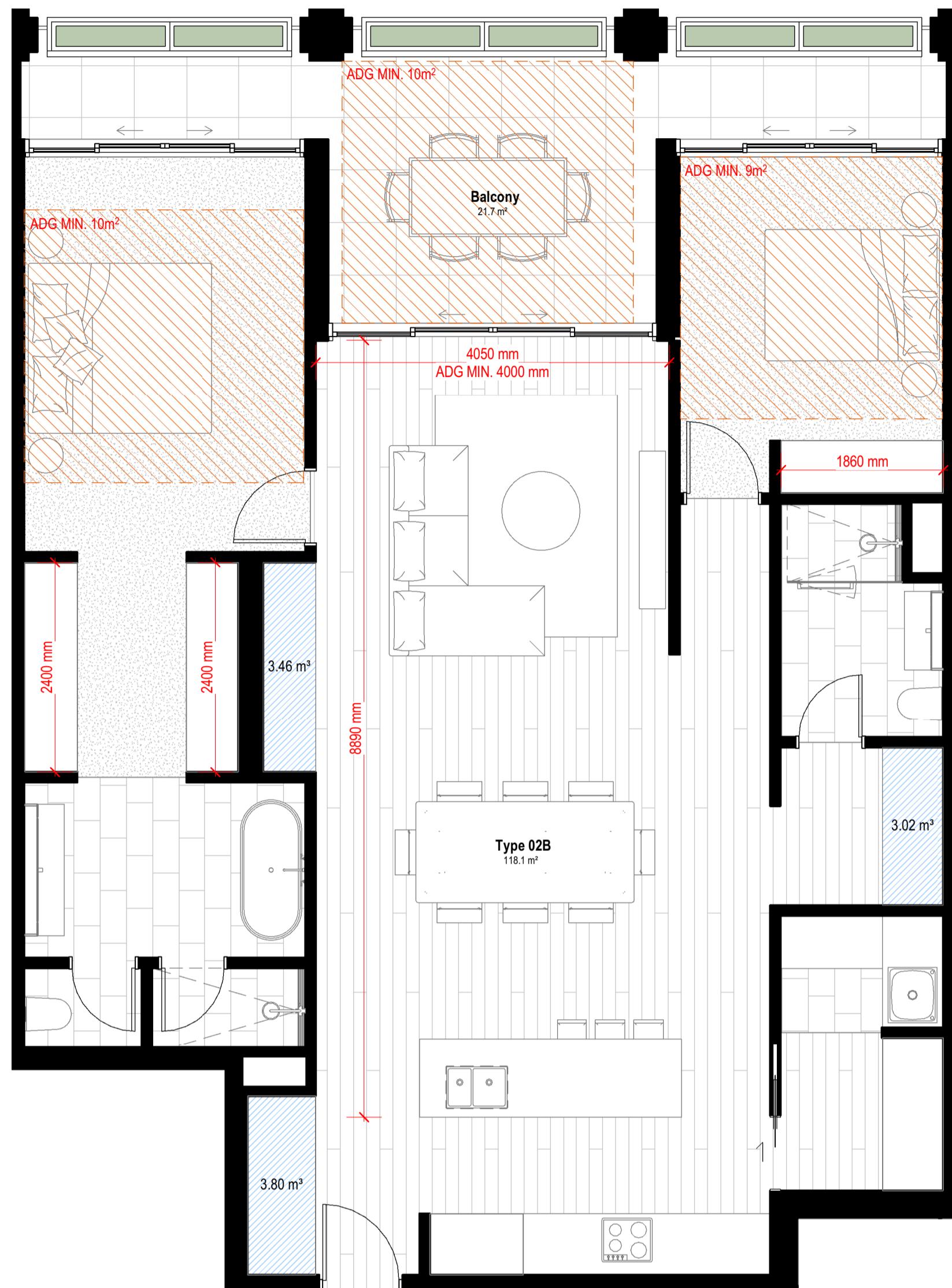
2 DA 105



1 BLDG A - Type 02A
1:50

| Type 02A - Apartment Storage | |
|------------------------------|---------|
| 02A | 2.45 m³ |
| 02A | 2.70 m³ |
| 02A | 3.23 m³ |
| Grand total: 3 | 8.37 m³ |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



2 BLDG A - Type 02B
1:50

| Type 02B - Apartment Storage | |
|------------------------------|----------|
| 02B | 3.02 m³ |
| 02B | 3.46 m³ |
| 02B | 3.80 m³ |
| Grand total: 3 | 10.28 m³ |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REVISION
1 DA RFI ISSUE
2 DA RFI ISSUE
14.08.2023
15.12.2023

CLIENT
AZURE

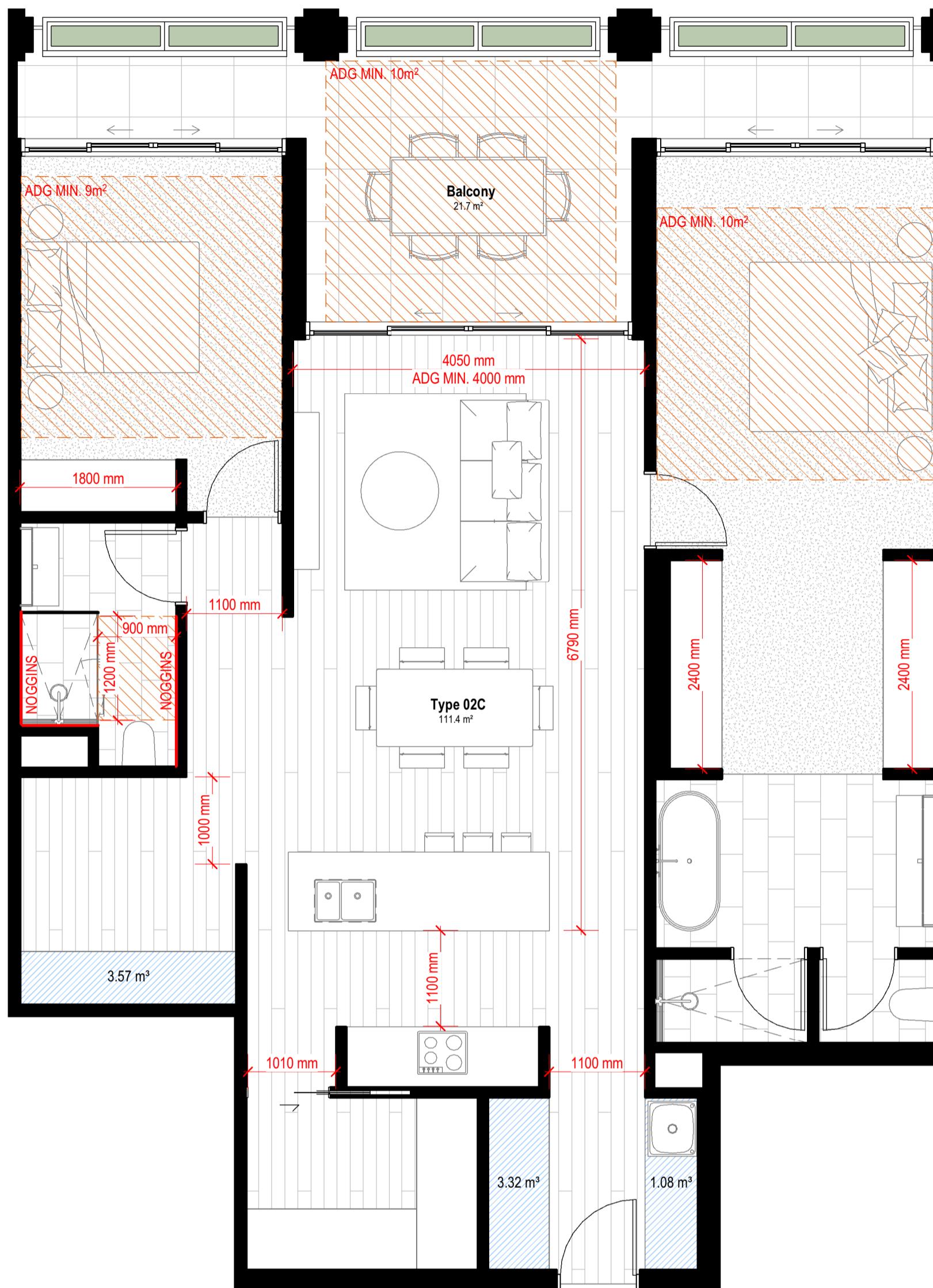
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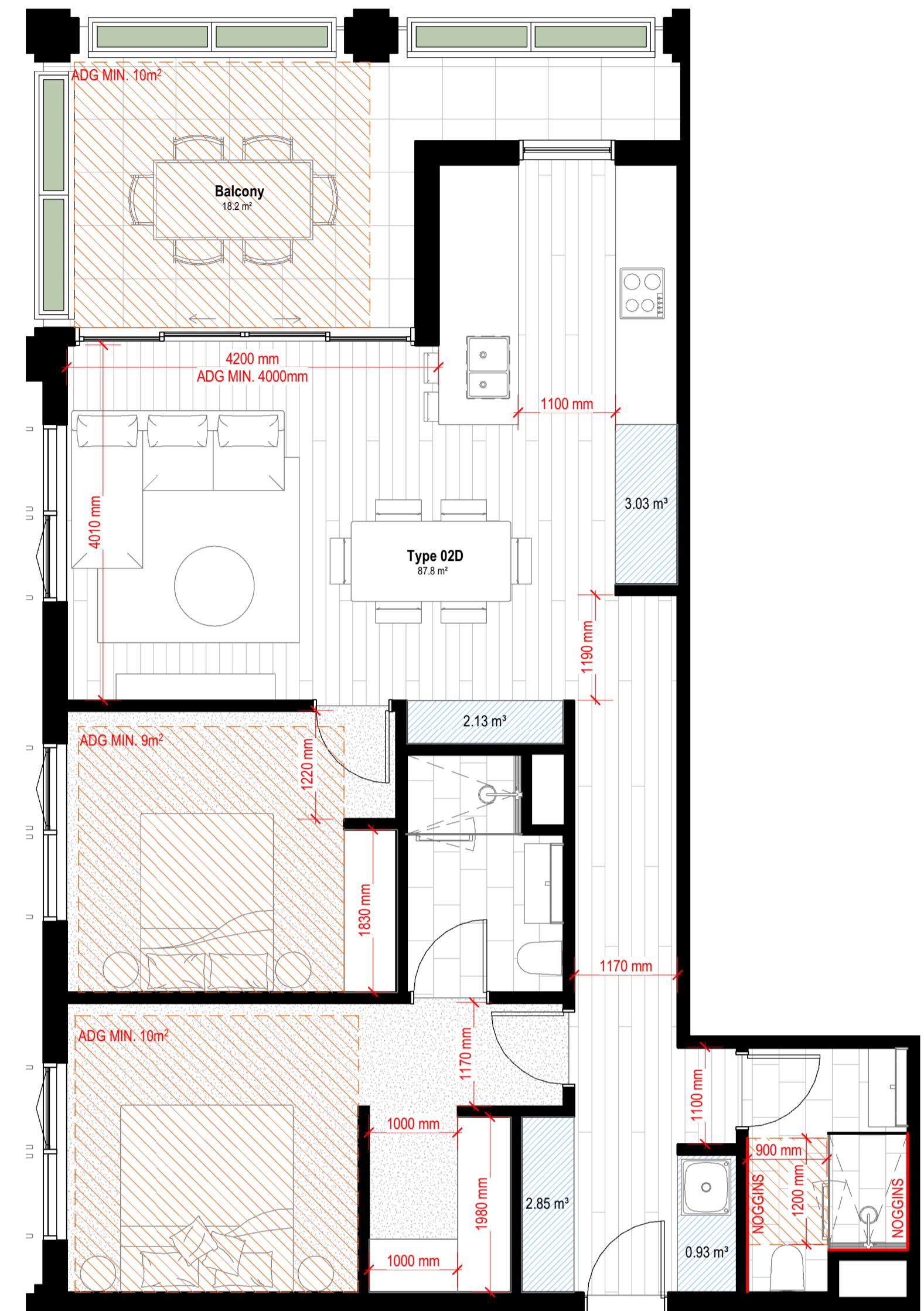
PROJECT
6 GRAND PARADE BY AZURE
DRAWN DATE CHECKED JOB NO. SCALE DRAWING TITLE
DF 15.12.2023 NJA 21504 1 : 50 @ A1 Types 02A + 02B

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2 DA 150



LHA - SILVER APARTMENT

1 BLDG A - Type 02C
1:50



LHA - SILVER APARTMENT

2 BLDG A - Type 02D
1:50

| Type 02C - Apartment Storage | |
|------------------------------|---------|
| 02C | 1.08 m³ |
| 02C | 3.32 m³ |
| 02C | 3.57 m³ |
| Grand total: 3 7.97 m³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

| Type 02D - Apartment Storage | |
|------------------------------|---------|
| 02D | 0.93 m³ |
| 02D | 2.13 m³ |
| 02D | 2.85 m³ |
| 02D | 3.03 m³ |
| Grand total: 4 8.93 m³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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1 DA RFI ISSUE
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14.08.2023
15.12.2023

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DF 15.12.2023 NJA 21504 1:50 @ A1 Types 02C + 02D

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2 DA 151



1 BLDG A - Type 02E
1:50



2 BLDG A - Type 02F
1:50

| Type 02E - Apartment Storage | |
|------------------------------|---------|
| 02E | 1.02 m³ |
| 02E | 7.24 m³ |
| Grand total: 2 8.26 m³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

| Type 02F - Apartment Storage | |
|------------------------------|---------|
| 02F | 1.98 m³ |
| 02F | 3.04 m³ |
| Grand total: 2 5.02 m³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

| Type 02F - Basement Storage | |
|-----------------------------|---------|
| | 5.12 m³ |

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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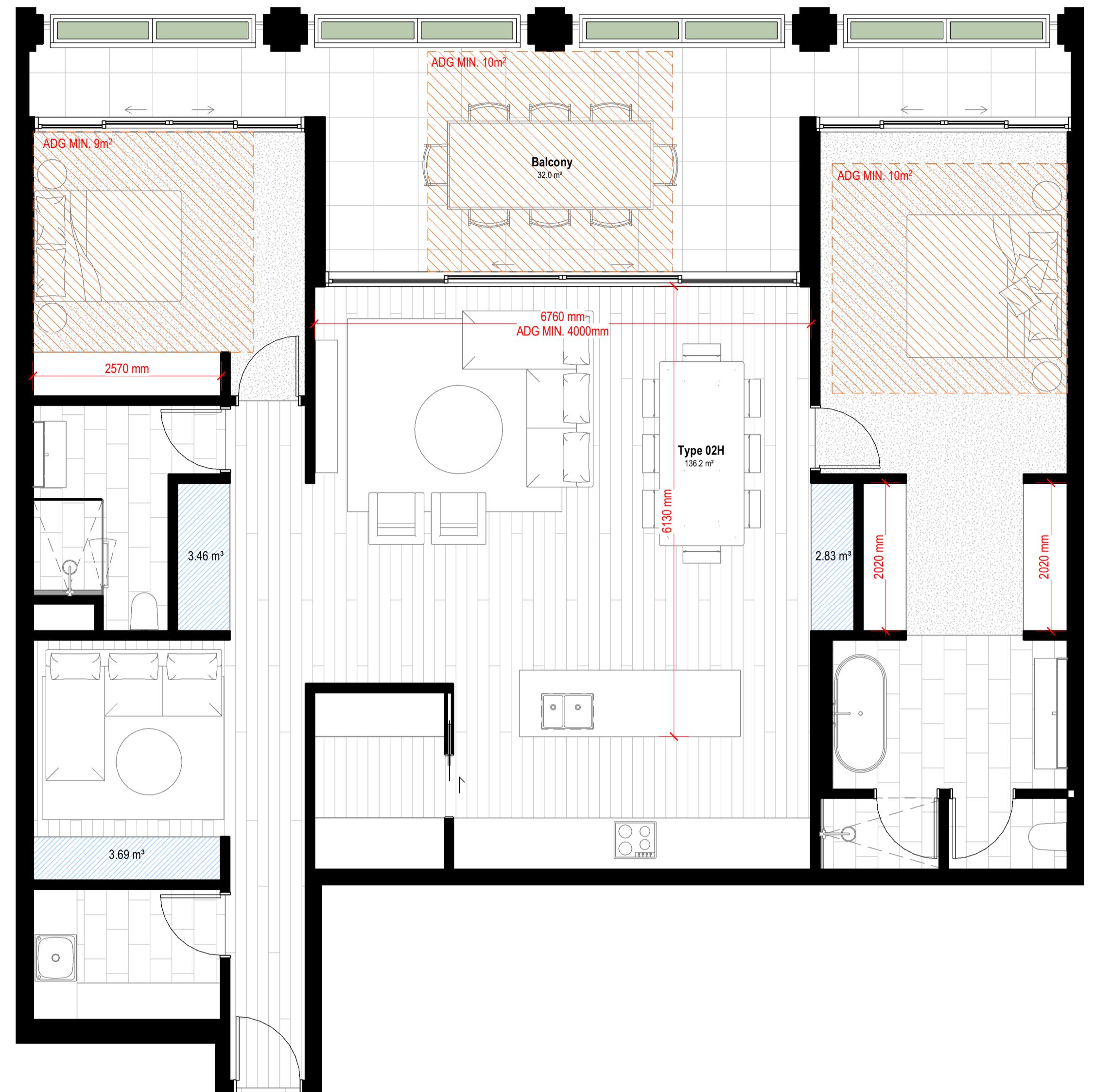
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2 DA 152

DRAWN DATE CHECKED JOB NO. SCALE DRAWING TITLE
DF 15.12.2023 NJA 21504 1:50 @ A1 Types 02E + 02F



1 BLDG A - Type 02G
1:50



2 BLDG B - Type 02H
1:50

| Type 02G - Apartment Storage | |
|------------------------------------|---------------------|
| 02G | 6.42 m ³ |
| Grand total: 1 6.42 m ³ | |

| Type 02G - Basement Storage | |
|------------------------------------|---------------------|
| | 5.12 m ³ |
| Grand total: 1 5.12 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

| Type 02H - Apartment Storage | |
|------------------------------------|---------------------|
| 02H | 2.83 m ³ |
| 02H | 3.46 m ³ |
| 02H | 3.69 m ³ |
| Grand total: 3 9.98 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

REVISION
1 DA RFI ISSUE
2 DA RFI ISSUE
14.08.2023
15.12.2023

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DF 15.12.2023 NJA 21504 1:50 @ A1 Types 02G + 02H

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REV. DRAWING NO.
2 DA 153



1 BLDG C - Type 02I
1:50



2 BLDG C - Type 02J
1:50

| Type 02I - Apartment Storage | |
|------------------------------------|---------------------|
| 02I.L02 | 1.33 m ³ |
| 02I.L02 | 2.58 m ³ |
| Grand total: 2 3.91 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

| Type 02I - Basement Storage | |
|------------------------------------|---------------------|
| | 4.61 m ³ |
| | 4.61 m ³ |
| Grand total: 2 8.14 m ³ | |

| Type 02J - Apartment Storage | |
|------------------------------------|---------------------|
| 02J | 1.72 m ³ |
| 02J | 2.43 m ³ |
| 02J | 3.99 m ³ |
| Grand total: 3 8.14 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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2 DA 154



| Type 02K - Apartment Storage | |
|------------------------------|---------|
| 02K | 2.07 m³ |
| 02K | 4.79 m³ |
| Grand total: 2 6.86 m³ | |

| Type 02K - Basement Storage | |
|-----------------------------|---------|
| | 4.61 m³ |
| | 4.61 m³ |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³



| Type 02L - Apartment Storage | |
|------------------------------|---------|
| 02L | 3.72 m³ |
| 02L | 5.80 m³ |
| Grand total: 2 9.53 m³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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1 DA RFI ISSUE
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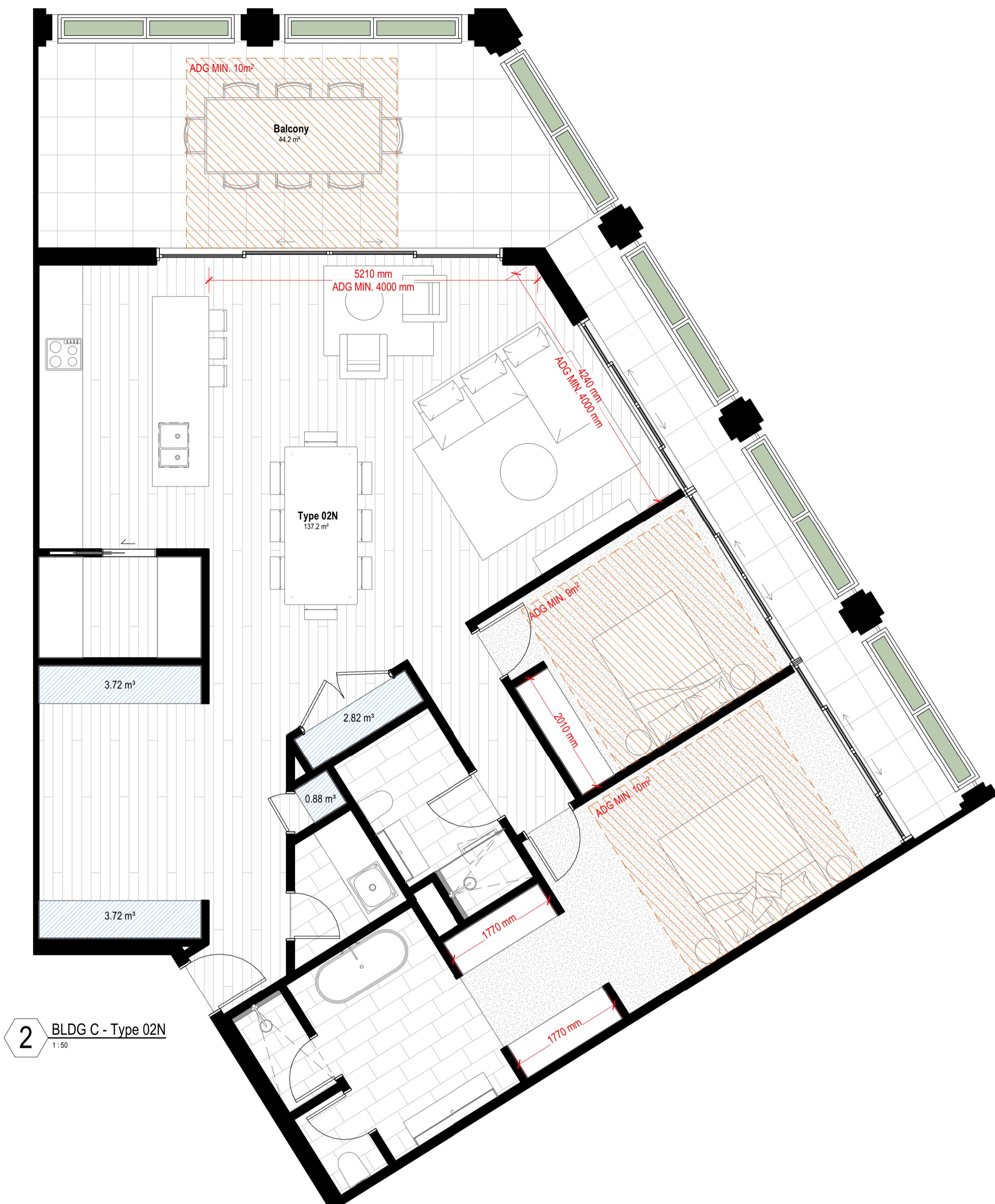
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1 BLDG C - Type 02M
1:50



2 BLDG C - Type 02N
1:50

| Type 02M - Apartment Storage | |
|------------------------------|---------------------|
| 02M | 0.53 m ³ |
| 02M | 2.51 m ³ |
| 02M | 3.19 m ³ |
| 02M | 3.55 m ³ |
| Grand total: 4 | 9.79 m ³ |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

| Type 02N - Apartment Storage | |
|------------------------------|----------------------|
| 02N | 0.88 m ³ |
| 02N | 2.82 m ³ |
| 02N | 7.44 m ³ |
| Grand total: 4 | 11.14 m ³ |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 8m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 4m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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1 DA RFI ISSUE
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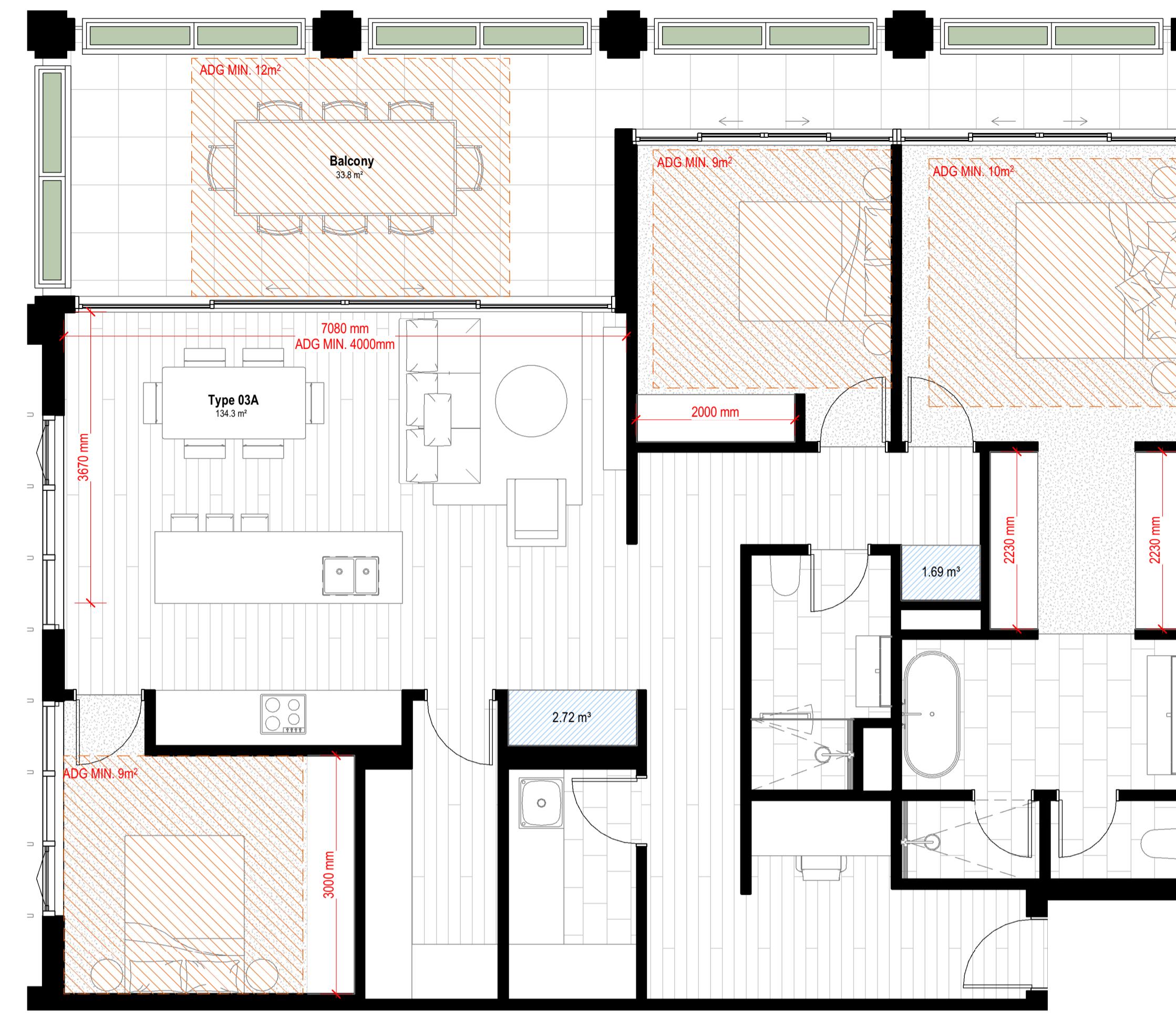
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1 : 50 @ A1 Types 02M + 02N

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2 DA 156



1 BLDG A - Type 03A
1:50

| Type 03A - Apartment Storage | |
|------------------------------|---------|
| 03A | 1.69 m³ |
| 03A | 2.72 m³ |
| Grand total: 2 4.42 m³ | |

| Type 03A - Basement Storage | |
|-----------------------------|---------|
| 5.12 m³ | 5.12 m³ |
| | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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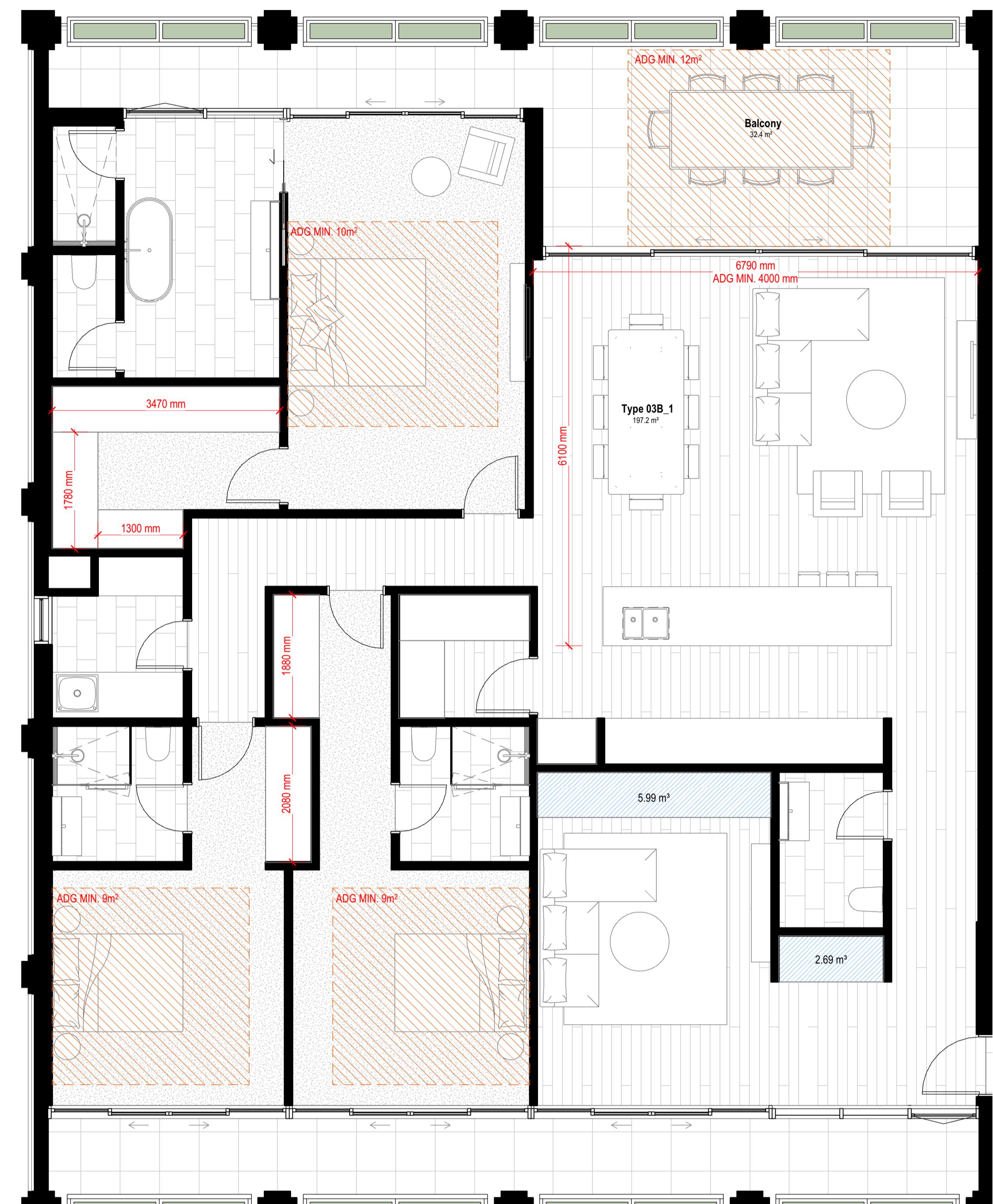
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1 BLDG B - Type 03B-1

| Type 03B-1 - Apartment Storage | |
|------------------------------------|---------------------|
| 03B-1 | 2.69 m ³ |
| 03B-1 | 5.99 m ³ |
| Grand total: 2 8.68 m ³ | |

| Type 03B-1 - Basement Storage | |
|-------------------------------|--|
| 5.12 m ³ | |
| 5.12 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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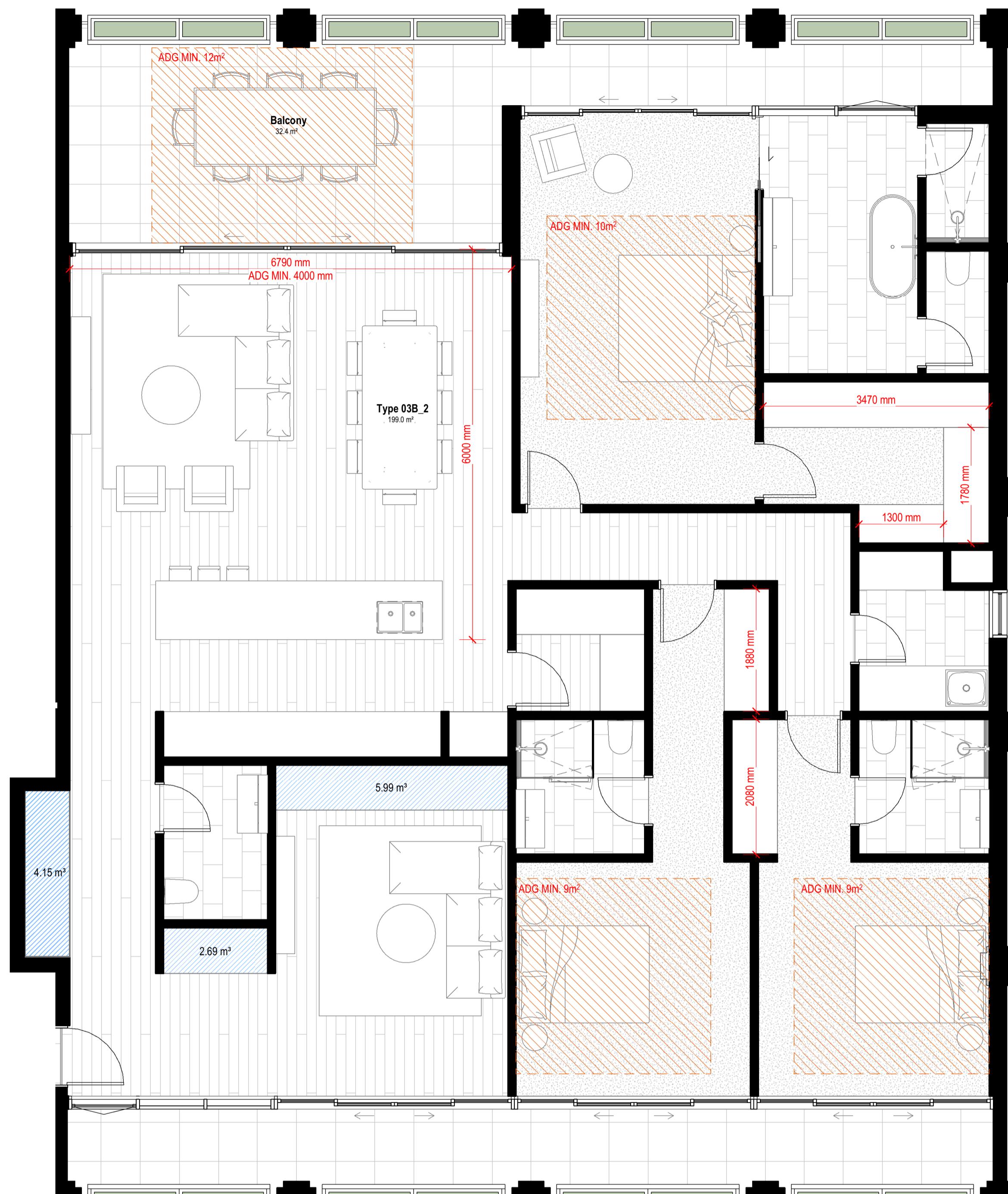
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1 BLDG B - Type 03B-2

| Type 03B-2 - Apartment Storage | |
|-------------------------------------|---------------------|
| 03B-2 | 2.69 m ³ |
| 03B-2 | 4.15 m ³ |
| 03B-2 | 5.99 m ³ |
| Grand total: 3 12.84 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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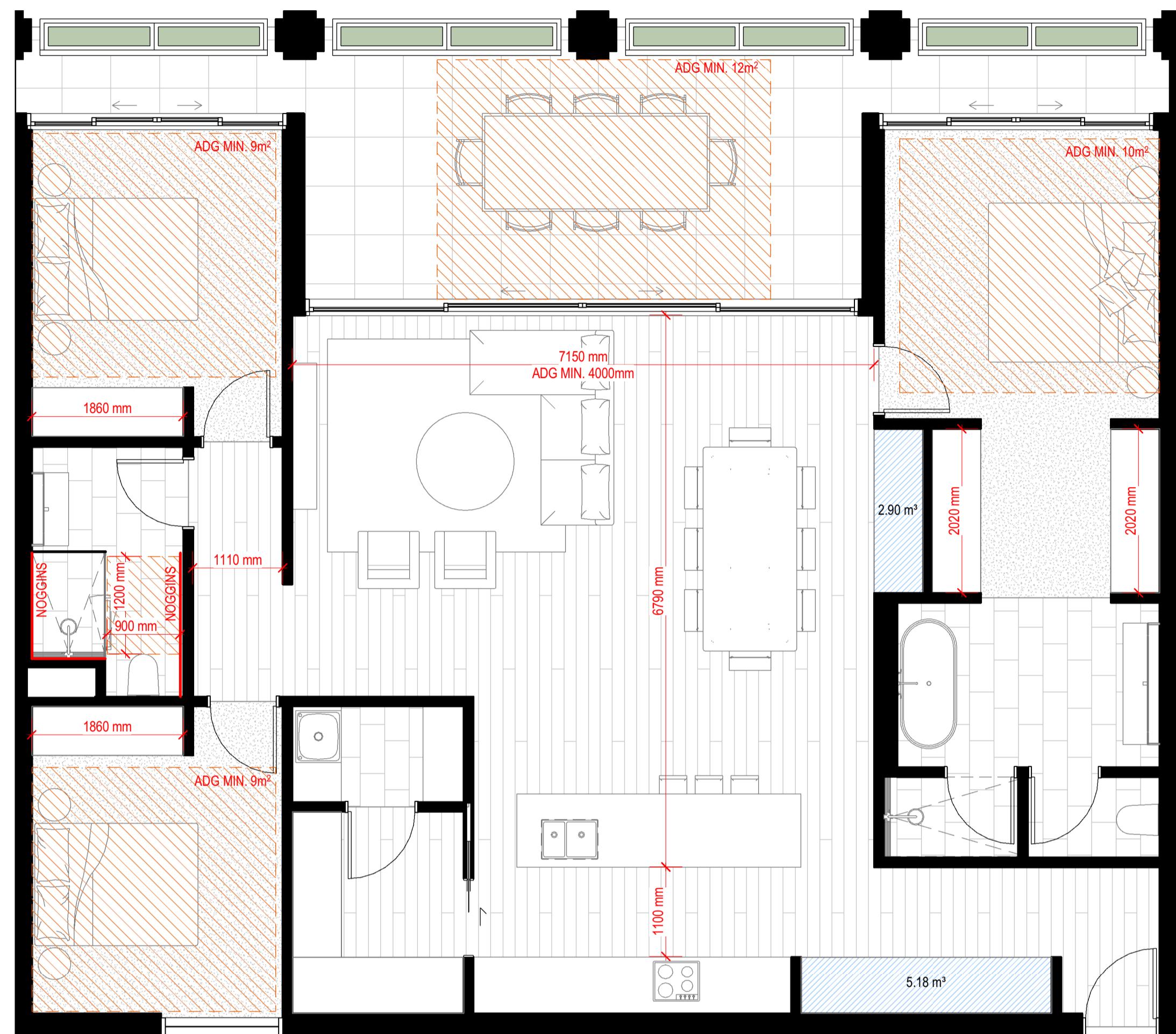
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REV. DRAWING NO.
2 DA 159



LHA - SILVER APARTMENT

1 BLDG C - Type 03C
1:50

| Type 03C - Apartment Storage | |
|------------------------------|---------|
| 03C | 2.90 m³ |
| 03C | 5.18 m³ |
| Grand total: 2 8.09 m³ | |

| Type 03C - Basement Storage | |
|-----------------------------|---------|
| 9.30 m³ | |
| | 9.30 m³ |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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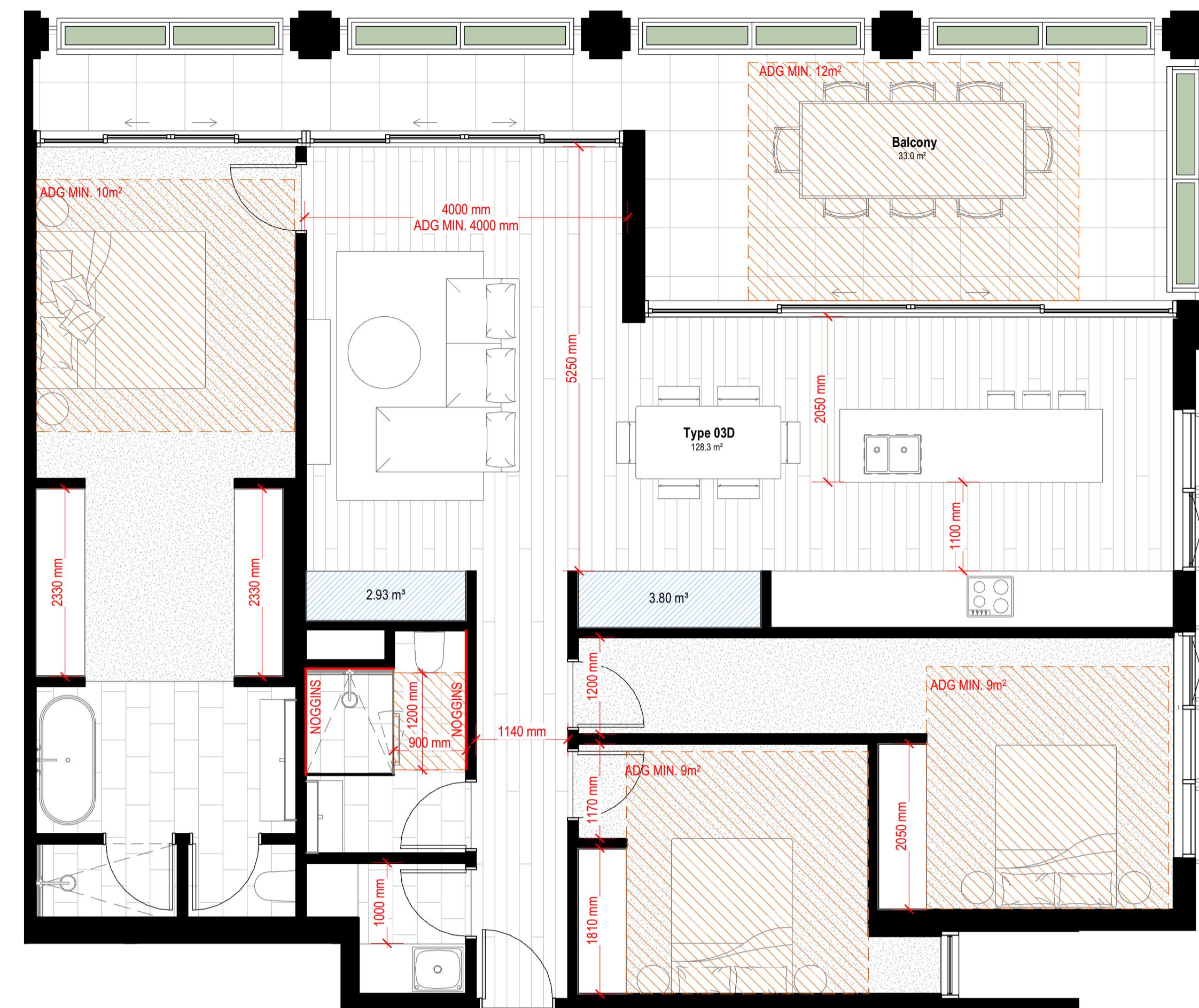
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REVISION
1 DA 160
2 DA 160
DRAWN DATE CHECKED JOB NO. SCALE DRAWING TITLE
DF 15.12.2023 NJA 21504 1:50 @ A1 Type 03C

REVISION
1 DA 160
2 DA 160
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DF 15.12.2023 NJA 21504 1:50 @ A1 Type 03C



LHA - SILVER APARTMENT

1 BLDG C - Type 03D

| Type 03D - Apartment Storage | |
|------------------------------|---------|
| 03D | 2.93 m³ |
| 03D | 3.80 m³ |
| Grand total: 2 6.73 m³ | |

| Type 03D - Basement Storage | |
|-----------------------------|--|
| 4.61 m³ | |
| 4.61 m³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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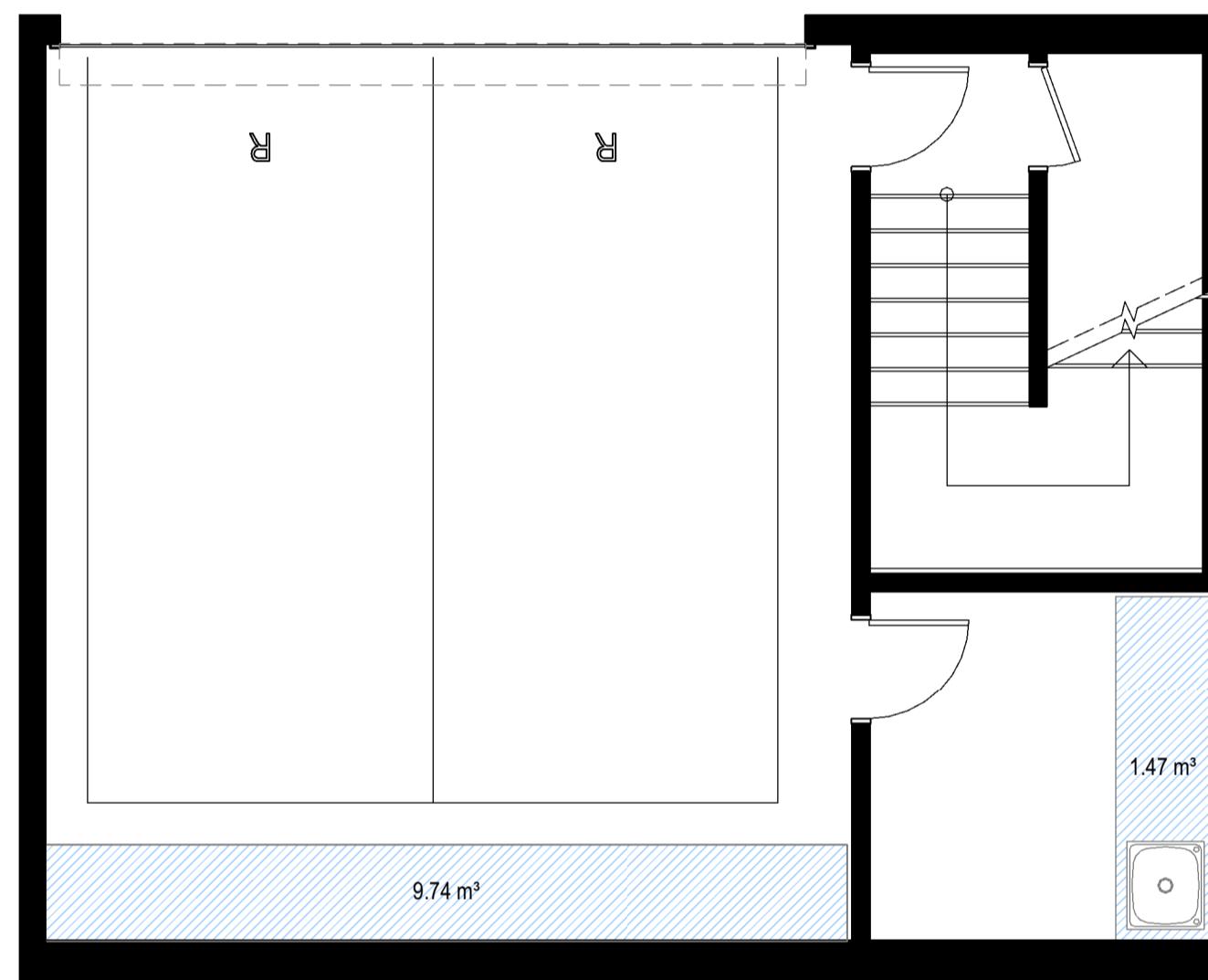
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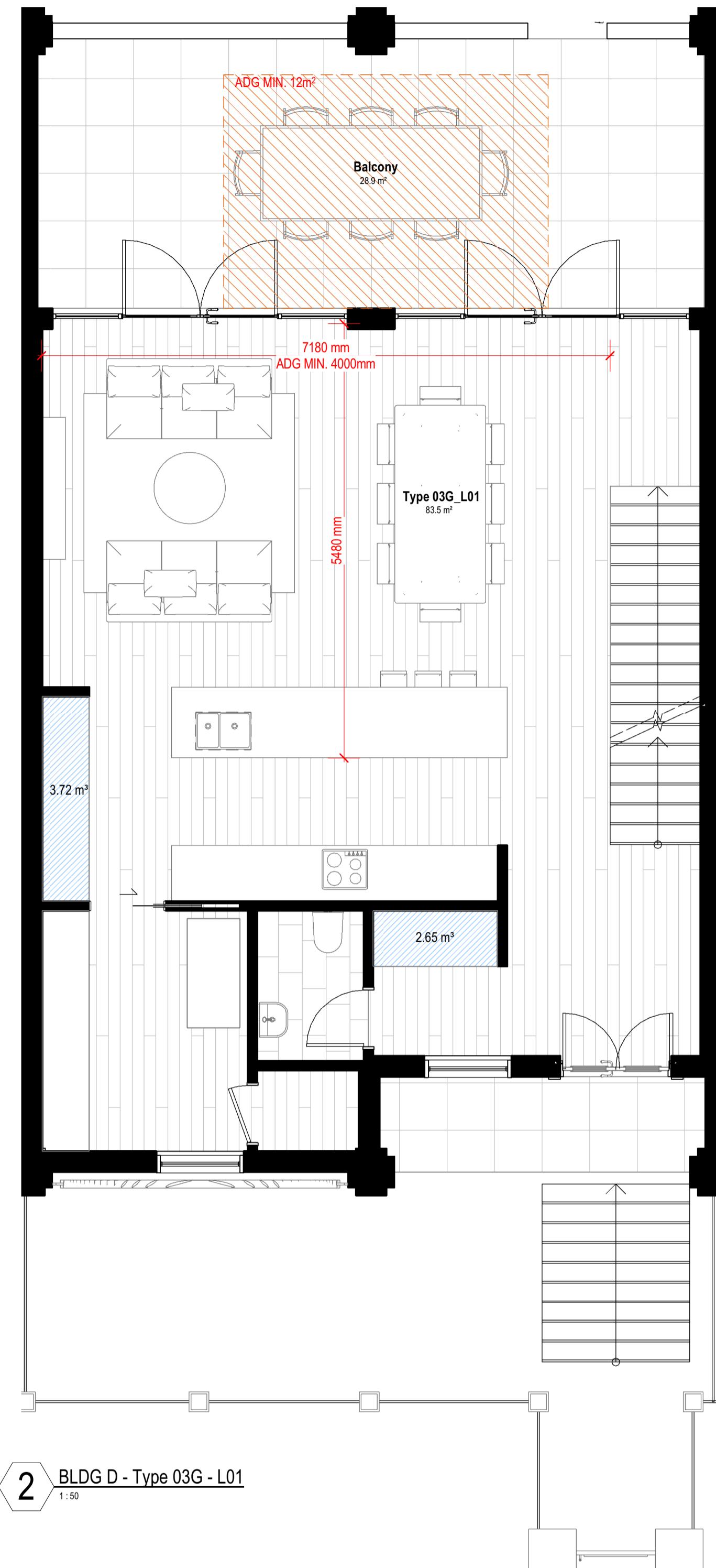
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2 DA 161



1 BLDG D - Type 03G - Basement
1 : 50



2 BLDG D - Type 03G - L01
1:50

| Type 03G - Apartment Storage | |
|------------------------------|---------------------|
| 03G-1 | 2.42 m ³ |
| 03G-1 | 2.65 m ³ |
| 03G-1 | 3.72 m ³ |
| Grand total: 3 | 8.79 m ³ |

| Type 03G - Basement Storage |
|-----------------------------|
| 9.74 m ³ |
| 1.47 m ³ |
| 11.22 m ³ |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

Type 03G_L02
100.1 m²

ADG MIN. 10m²

1940 mm

2040 mm

2480 mm

3040 mm

ADG MIN. 9m²

2.42 m³

VOID

3 BLDG D - Type 03G - L02
1:50

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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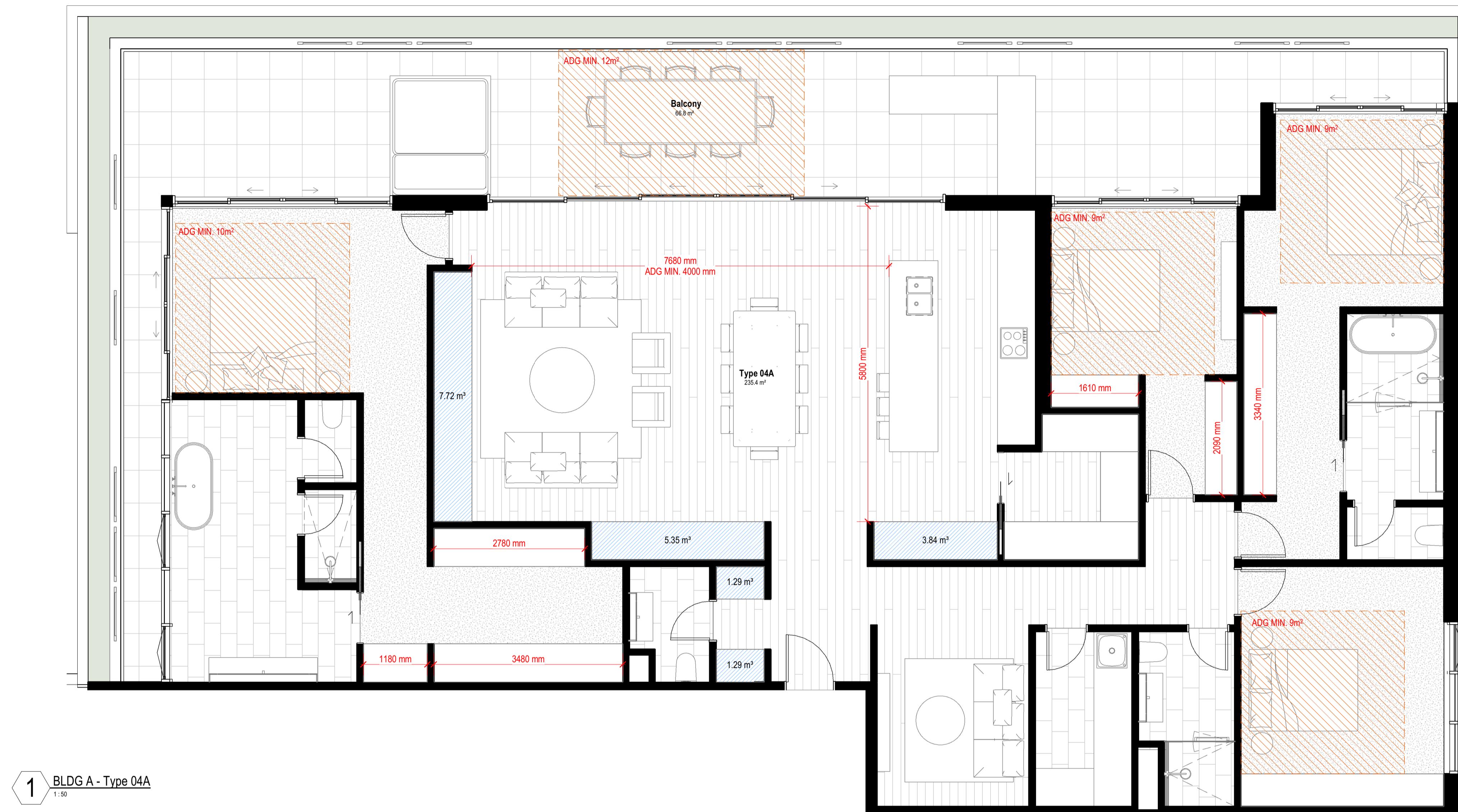
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REV. DRAWING NO.



| Type 04A - Apartment Storage | |
|------------------------------|----------------------|
| 04A | 2.57 m ³ |
| 04A | 3.84 m ³ |
| 04A | 5.35 m ³ |
| 04A | 7.72 m ³ |
| Grand total: 5 | 19.48 m ³ |

| Type 04A - Basement Storage | |
|-----------------------------|--|
| 8.92 m ³ | |
| 8.92 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITUAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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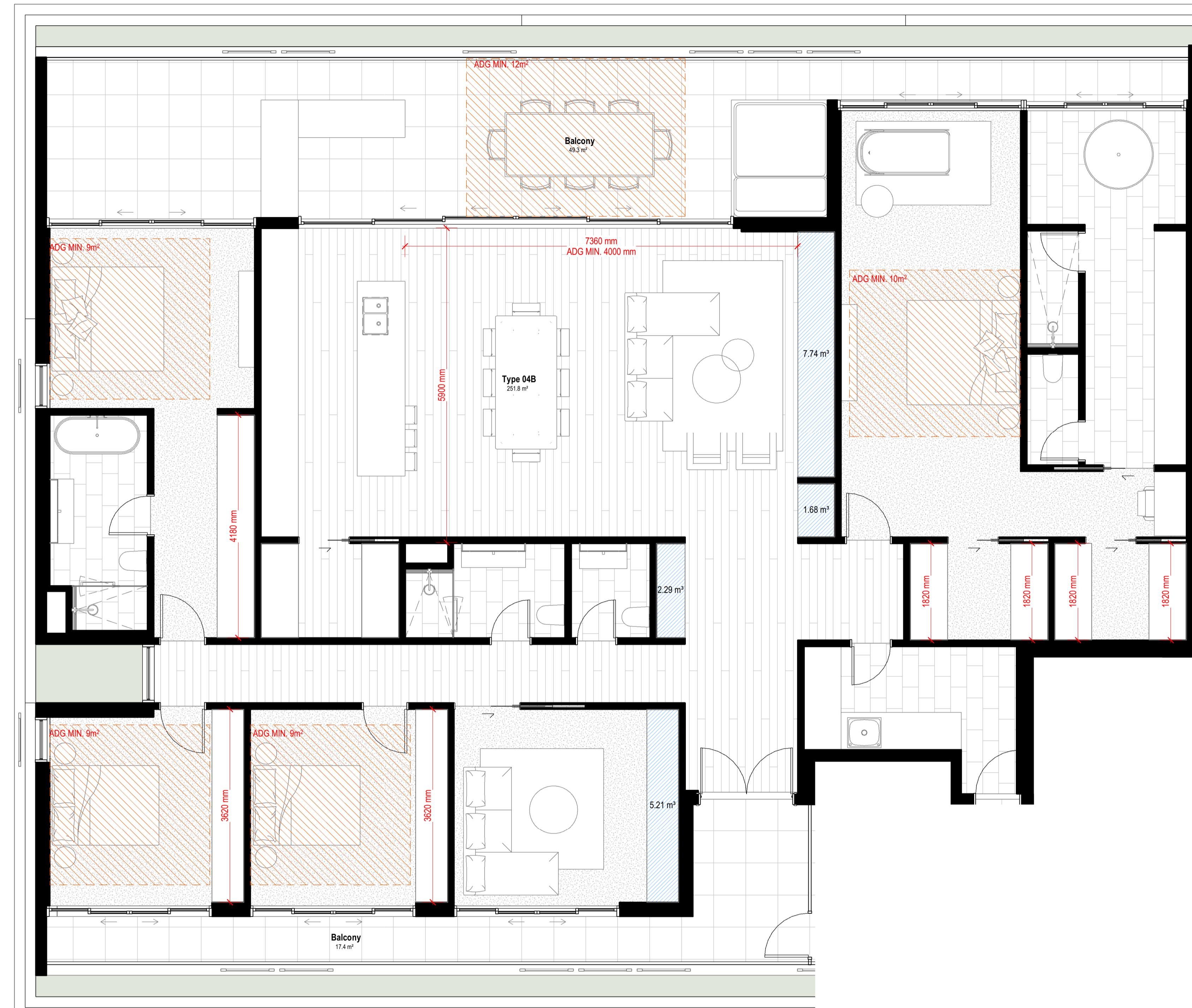
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1 DA 164

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1 DA 164

1 DA 164

2 DA 164



1 BLDG B - Type 04B

| Type 04B - Apartment Storage | |
|------------------------------|---------------------|
| 04B | 1.68 m ³ |
| 04B | 2.29 m ³ |
| 04B | 5.21 m ³ |
| 04B | 7.74 m ³ |
| Grand total: 4 | |
| 16.92 m ³ | |

| Type 04B - Basement Storage | |
|-----------------------------|--|
| 6.90 m ³ | |
| 6.90 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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| Type 04C - Apartment Storage | |
|------------------------------|----------------------|
| 04C | 1.68 m ³ |
| 04C | 2.29 m ³ |
| 04C | 4.51 m ³ |
| 04C | 7.74 m ³ |
| Grand total: 4 | 16.22 m ³ |

| Type 04C - Basement Storage |
|-----------------------------|
| 6.92 m ³ |
| 6.92 m ³ |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITAL ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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REV. DRAWING NO.



| Type 04D - Apartment Storage | |
|------------------------------|---------------------|
| 04D | 2.07 m ³ |
| 04D | 2.99 m ³ |
| 04D | 4.14 m ³ |
| 04D | 9.45 m ³ |
| Grand total: 4 | |
| 18.65 m ³ | |

| Type 04D - Basement Storage | |
|-----------------------------|--|
| 4.61 m ³ | |
| 4.61 m ³ | |
| 4.61 m ³ | |
| 13.82 m ³ | |

REQUIRED TOTAL APARTMENT STORAGE (ADG MIN.): 10m³
REQUIRED WITHIN APARTMENT (ADG MIN.): 5m³

ALL CEILINGS TO HABITABLE ROOMS - 2700mm HIGH
ALL CEILINGS TO NON-HABITABLE ROOMS - MIN.
2400mm HIGH

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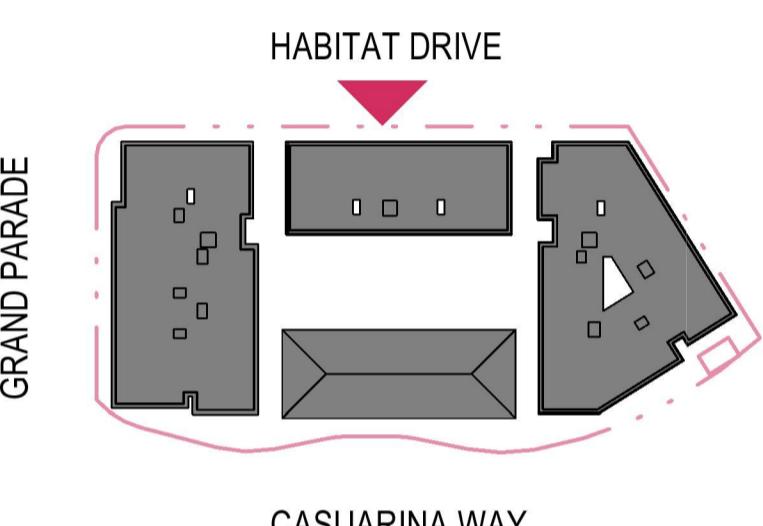
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SCALE DRAWING TITLE
1 : 50 @ A1 Type 04D

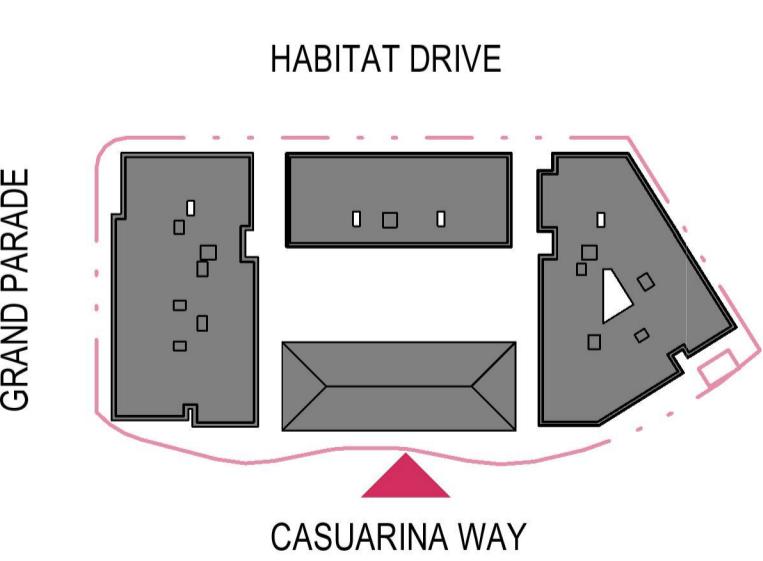
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REV. DRAWING NO.
2 DA 167



1 Elevation - Habitat Drive
1:200



2 Elevation - Casuarina Way
1:200



REVISION
1 DA RFI ISSUE 14.08.2023
2 DA RFI ISSUE 15.12.2023

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ISSUE PURPOSE
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PROJECT

6 GRAND PARADE BY AZURE

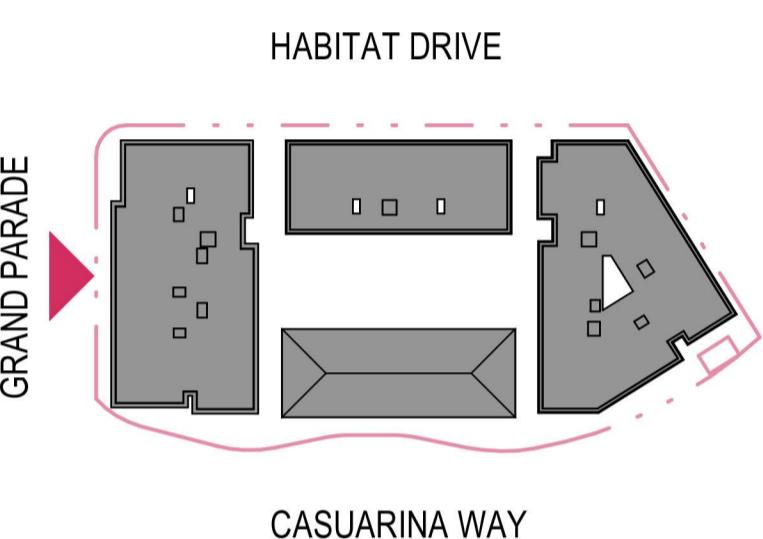
As indicated @ A1
Elevations - East (Habitat Drive) / West (Casuarina Way)

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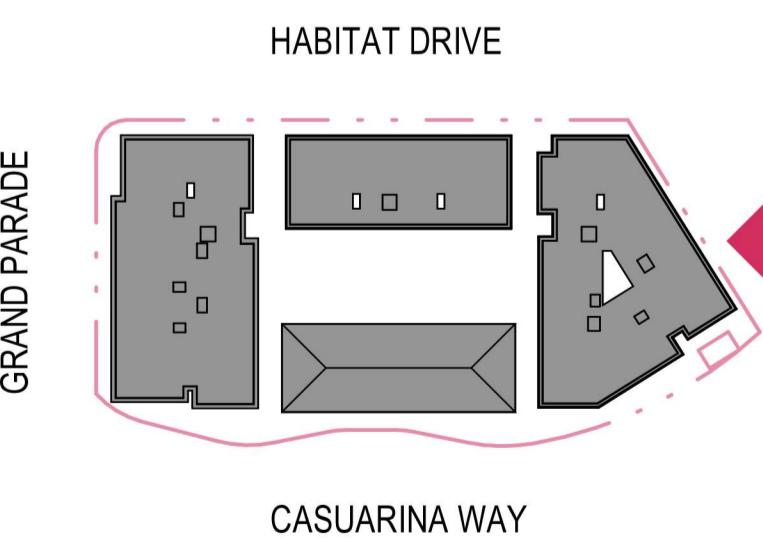
REV. DRAWING NO.
2 DA 200



1 Elevation - Grand Parade
1:200



2 Elevation - South Elevation
1:200



REVISION
1 DA RFI ISSUE
2 DA RFI ISSUE
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PROJECT
6 GRAND PARADE BY AZURE

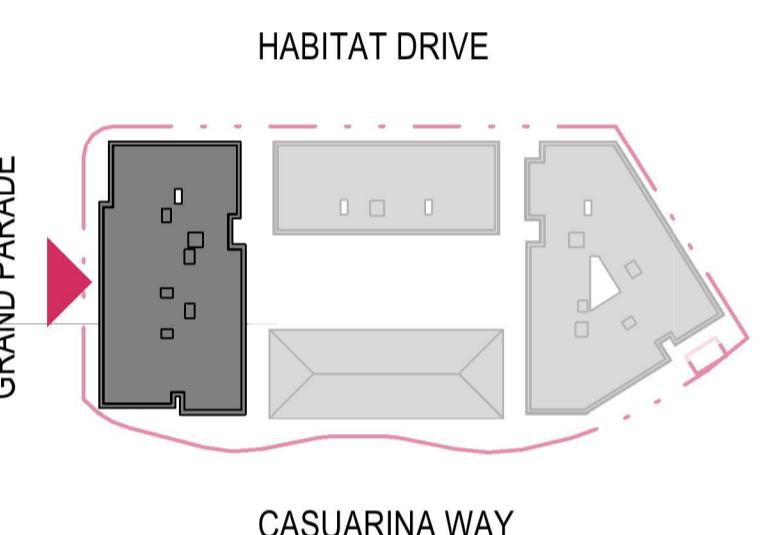
SCALE DRAWING TITLE
As indicated @ A1 Elevations - North (Grand Parade) / South

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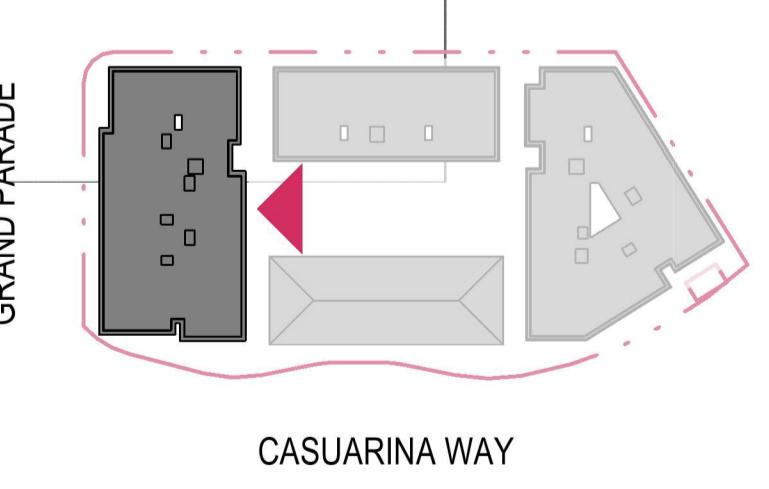
REV. DRAWING NO.
2 DA 201



1 Elevation - Building A - North
1:100



2 Elevation - Building A - South
1:100



LEGEND

| | |
|------|--------------------------------|
| BAL1 | BALUSTRADE, ALUM |
| BAL2 | BALUSTRADE, GRC PLANTER + ALUM |
| BAL3 | BALUSTRADE, ALUM + GLASS |
| CNR | CONCRETE, RENDERED |
| FEN | FENCE |
| GAT | GATE, ALUM |
| GL | GLASS |
| SCR1 | SCREEN, ALUM |
| SCR2 | SCREEN, ALUM |
| SCR3 | SCREEN, ALUM |

REVISION
1 DA RFI ISSUE
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14.08.2023
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AZURE

ISSUE PURPOSE
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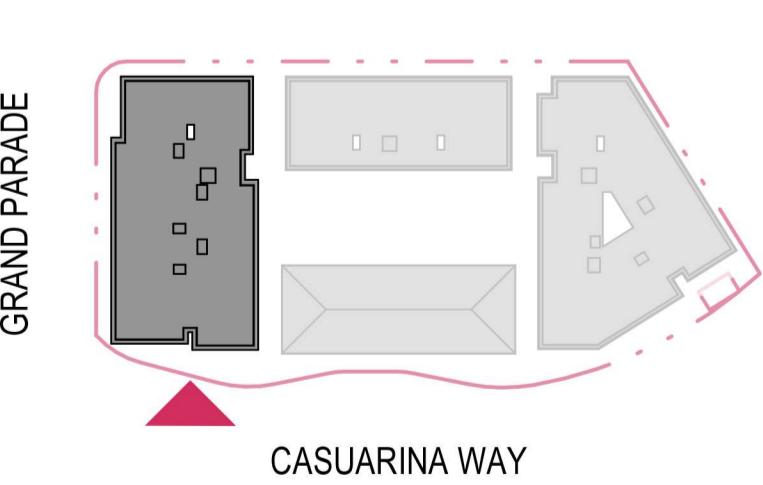
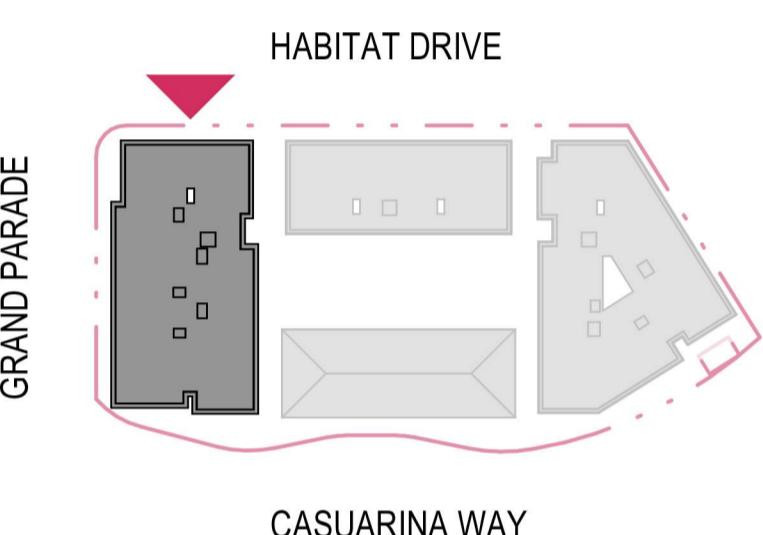
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PROJECT
6 GRAND PARADE BY AZURE
DRAWING TITLE
Elevations - Building A (N, S)
SCALE
As indicated @ A1

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2 DA 202



LEGEND

| | |
|------|--------------------------------|
| BAL1 | BALUSTRADE, ALUM |
| BAL2 | BALUSTRADE, GRC PLANTER + ALUM |
| BAL3 | BALUSTRADE, ALUM + GLASS |
| CNR | CONCRETE, RENDERED |
| FEN | FENCE |
| GAT | GATE, ALUM |
| GL | GLASS |
| SCR1 | SCREEN, ALUM |
| SCR2 | SCREEN, ALUM |
| SCR3 | SCREEN, ALUM |

REVISION
1 DA RFI ISSUE
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14.08.2023
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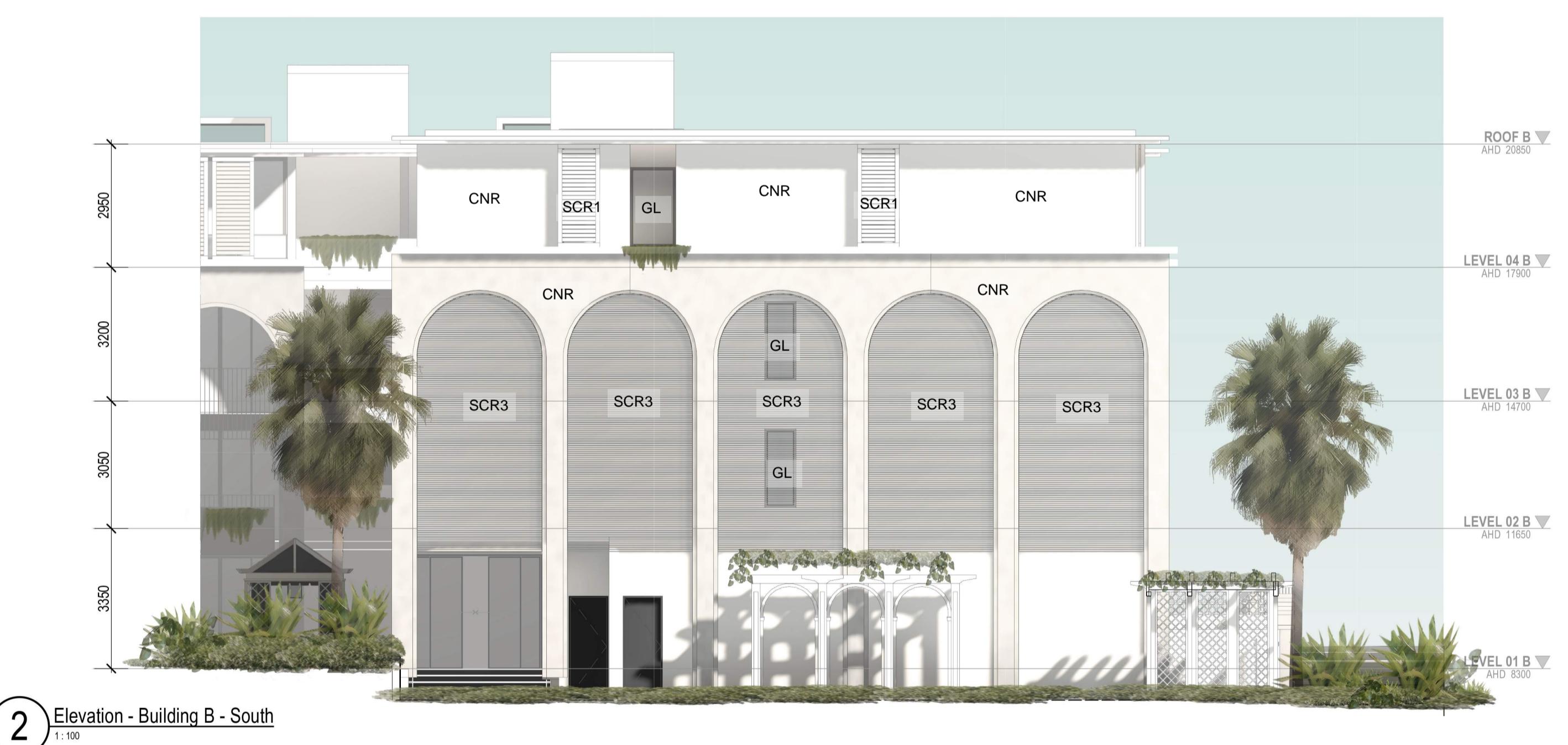
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PROJECT
6 GRAND PARADE BY AZURE
DRAWING TITLE
Elevations - Building A (E, W)
As indicated @ A1

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2 DA 203



| LEGEND | |
|--------|--------------------------------|
| BAL1 | BALUSTRADE, ALUM |
| BAL2 | BALUSTRADE, GRC PLANTER + ALUM |
| BAL3 | BALUSTRADE, ALUM + GLASS |
| CNR | CONCRETE, RENDERED |
| FEN | FENCE |
| GAT | GATE, ALUM |
| GL | GLASS |
| SCR1 | SCREEN, ALUM |
| SCR2 | SCREEN, ALUM |
| SCR3 | SCREEN, ALUM |

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AZURE

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Author 15.12.2023 Checker 21504

PROJECT

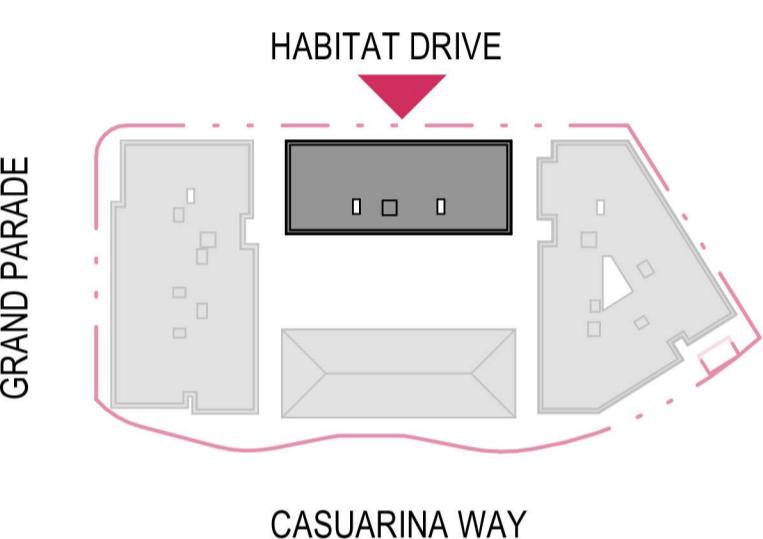
6 GRAND PARADE BY AZURE
Elevations - Building B (N, S)

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REV. DRAWING NO.
2 DA 204





1 Elevation - Building B - East
1:100



2 Elevation - Building B - West
1:100



LEGEND

| | |
|------|--------------------------------|
| BAL1 | BALUSTRADE, ALUM |
| BAL2 | BALUSTRADE, GRC PLANTER + ALUM |
| BAL3 | BALUSTRADE, ALUM + GLASS |
| CNR | CONCRETE, RENDERED |
| FEN | FENCE |
| GAT | GATE, ALUM |
| GL | GLASS |
| SCR1 | SCREEN, ALUM |
| SCR2 | SCREEN, ALUM |
| SCR3 | SCREEN, ALUM |

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DF 15.12.2023 NJA 21504

PROJECT

6 GRAND PARADE BY AZURE
Elevations - Building B (E, W)

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REV. DRAWING NO.
2 DA 205



| LEGEND | |
|--------|--------------------------------|
| BAL1 | BALUSTRADE, ALUM |
| BAL2 | BALUSTRADE, GRC PLANTER + ALUM |
| BAL3 | BALUSTRADE, ALUM + GLASS |
| CNR | CONCRETE, RENDERED |
| FEN | FENCE |
| GAT | GATE, ALUM |
| GL | GLASS |
| SCR1 | SCREEN, ALUM |
| SCR2 | SCREEN, ALUM |
| SCR3 | SCREEN, ALUM |

REVISION
1 DA RFI ISSUE
2 DA RFI ISSUE

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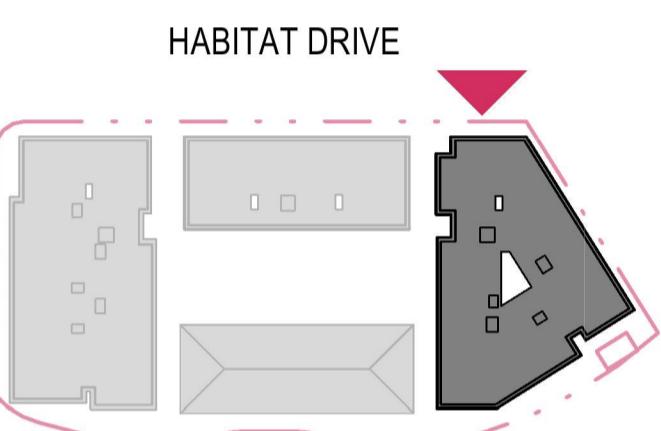
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DF
DATE
15.12.2023
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NJA
JOB NO.
21504

PROJECT
6 GRAND PARADE BY AZURE
DRAWING TITLE
Elevations - Building C (N, S)
SCALE
As indicated @ A1
REV. DRAWING NO.
2 DA 206

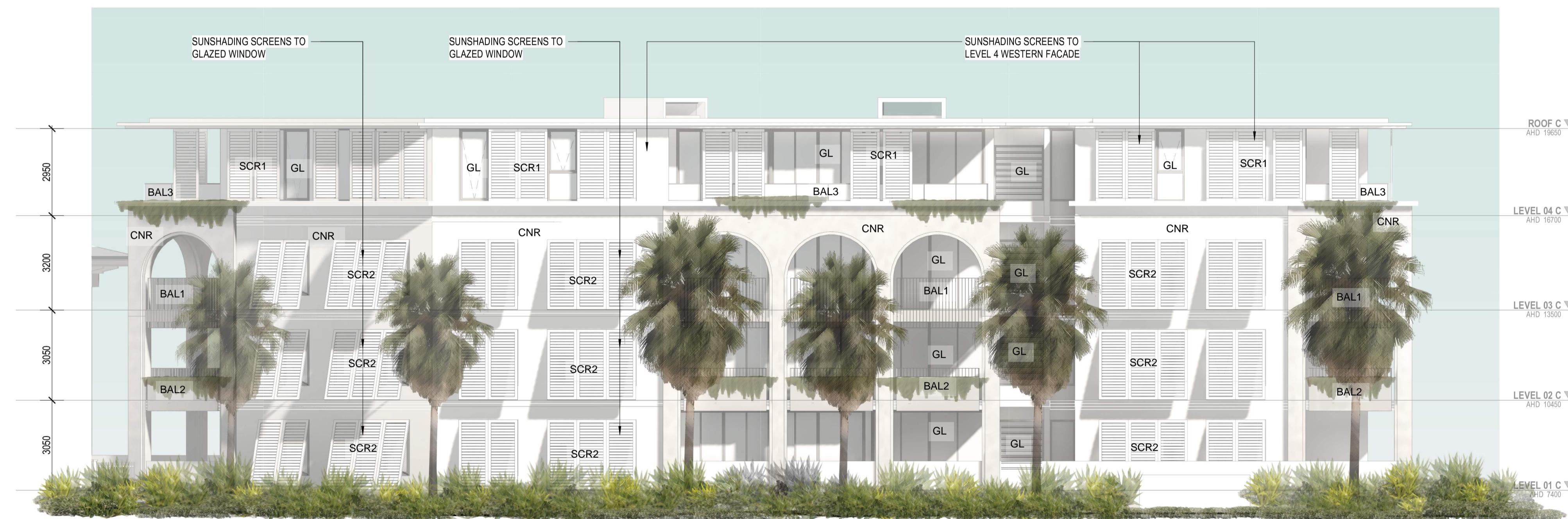
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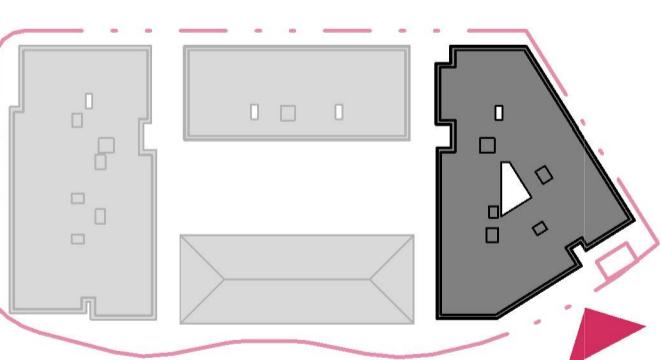
1 Elevation - Building C - East
1 : 100



CASUARINA WAY



2 Elevation - Building C - West
1 : 100



CASUARINA WAY

LEGEND

| LEGEND | |
|--------|--------------------------------|
| BAL1 | BALUSTRADE, ALUM |
| BAL2 | BALUSTRADE, GRC PLANTER + ALUM |
| BAL3 | BALUSTRADE, ALUM + GLASS |
| CNR | CONCRETE, RENDERED |
| FEN | FENCE |
| GAT | GATE, ALUM |
| GL | GLASS |
| SCR1 | SCREEN, ALUM |
| SCR2 | SCREEN, ALUM |
| SCR3 | SCREEN, ALUM |

CLIENT — AZURE

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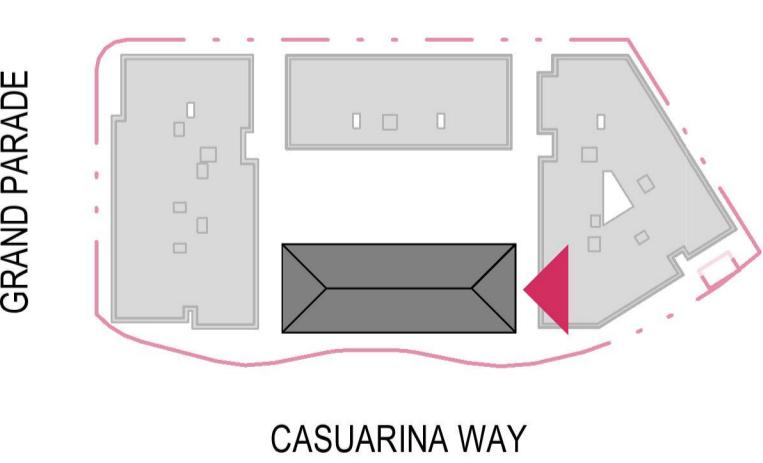
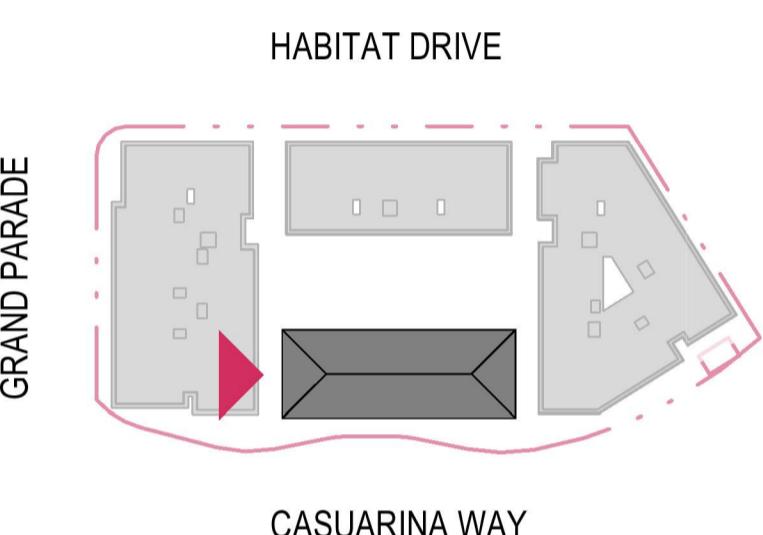
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PROJECT

6 GRAND PARADE BY AZURE
Elevations - Building D (N, S)

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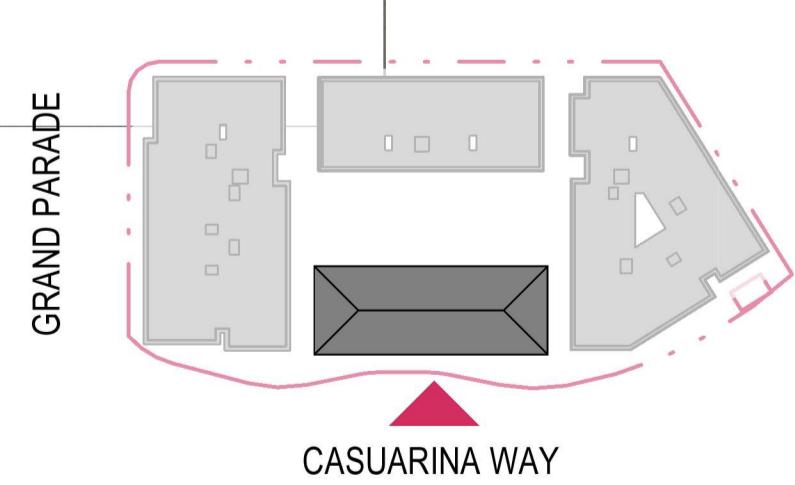
REV. DRAWING NO.
2 DA 208



1 Elevation - Building D - East
1:100



2 Elevation - Building D - West
1:100



REVISION
1 DA RFI ISSUE
2 DA RFI ISSUE

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DA

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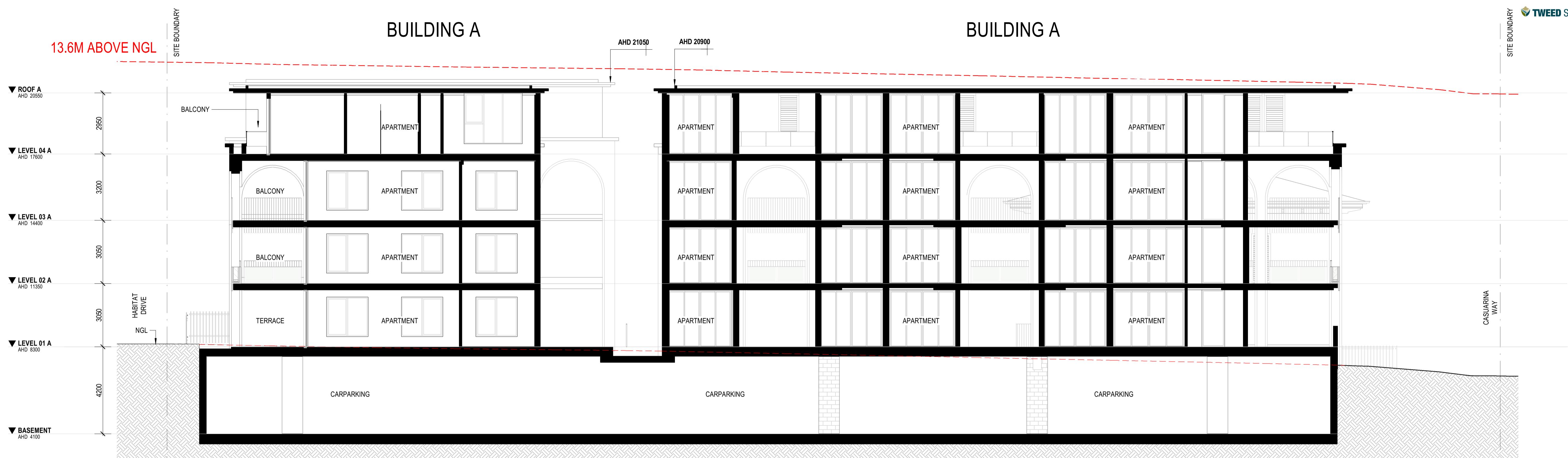
6 GRAND PARADE BY AZURE

SCALE DRAWING TITLE
As indicated @ A1 Elevations - Building D (E, W)

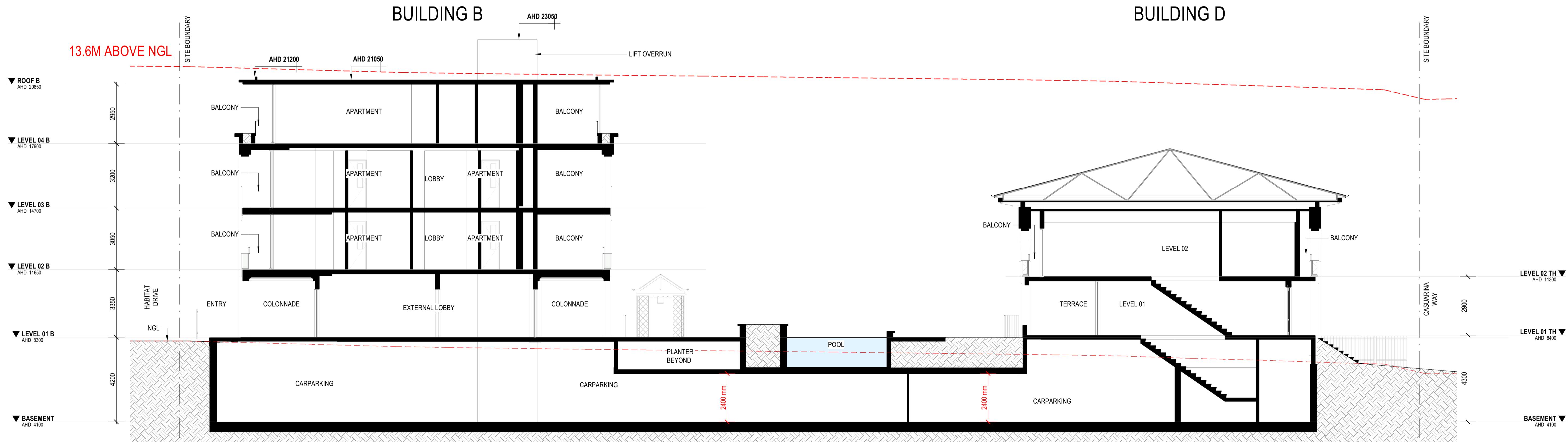
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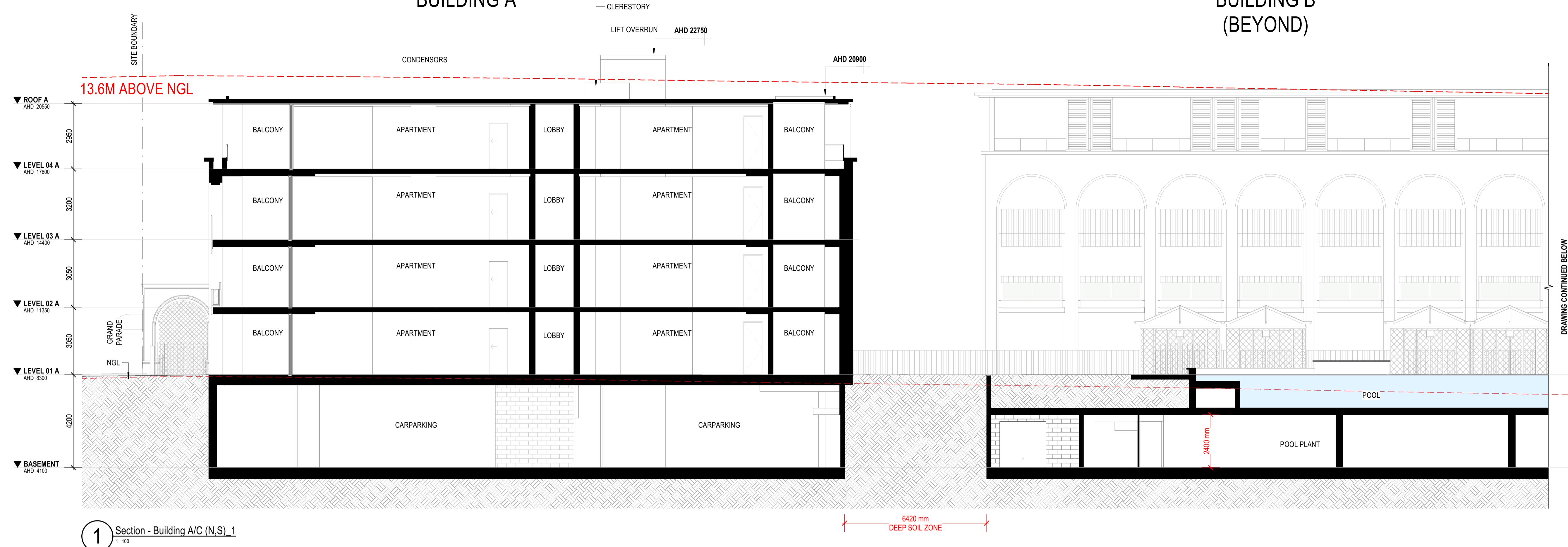
1 Section - Building A (E,W)



2 Section - Building B/D (E,W)

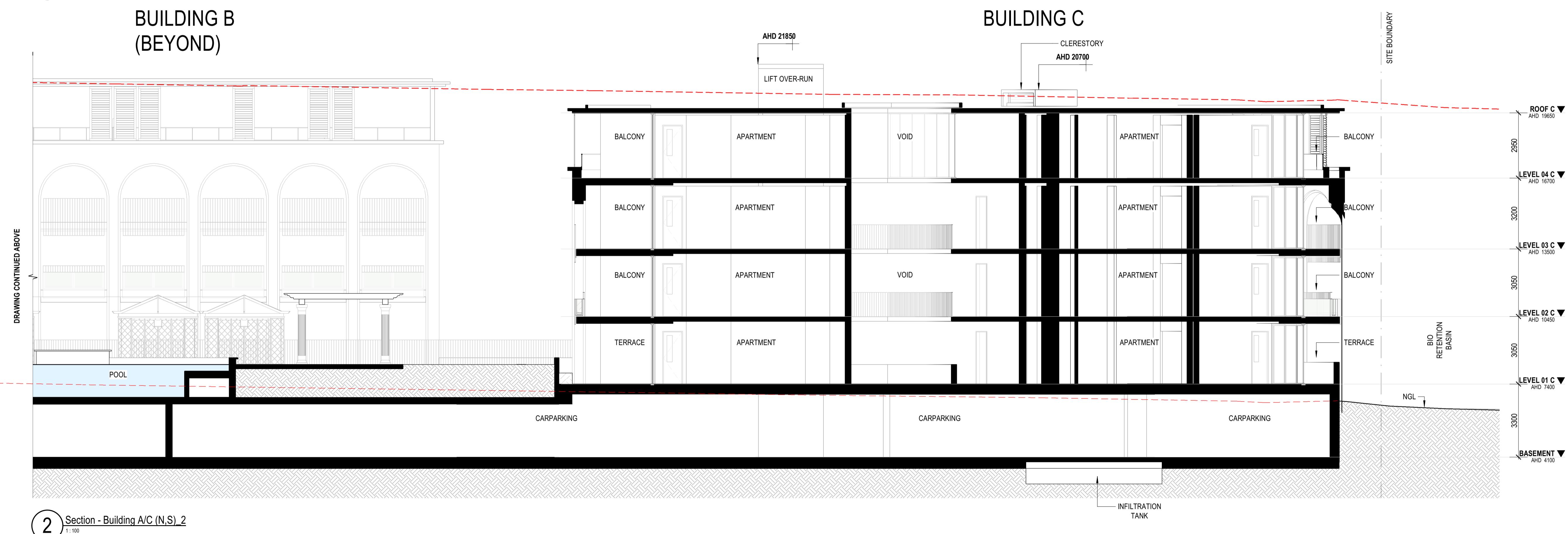
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| | | <input type="checkbox"/> DESIGN DEVELOPMENT REVIEW | DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. | | |
| | | <input type="checkbox"/> TENDER DOCUMENTATION REVIEW | USE FIGURED DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS. | | |
| | | <input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW | NSW NOMINATED ARCHITECT: LAWRENCE TALDO REG. 10255 | | |
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| | DA | | KRE 15.12.2023 NJA 21504 | Sections | 2 DA 210 |

BUILDING A



BUILDING B (BEYOND)

BUILDING B (BEYOND)



BUILDING C

REVISION

A RFI ISSUE 14.08.2023
A RFI ISSUE 15.12.2023

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| DRAWN | DATE | CHECKED | JOB NO. |
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| KRE | 15.12.2023 | NJA | 21 504 |

PROJECT

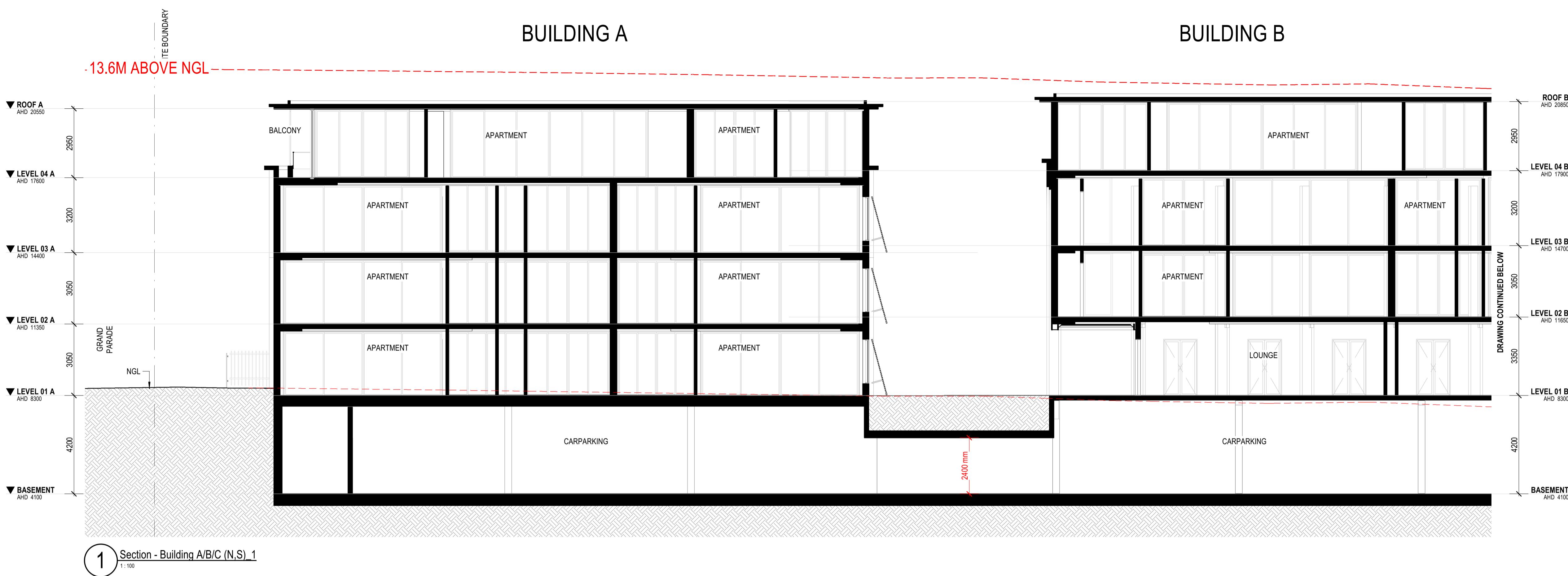
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CONRAD GARGETT GROUP PTY LTD
ACN 636 465 373 ABN 81 636 46

REV. **DRAWING NO.**

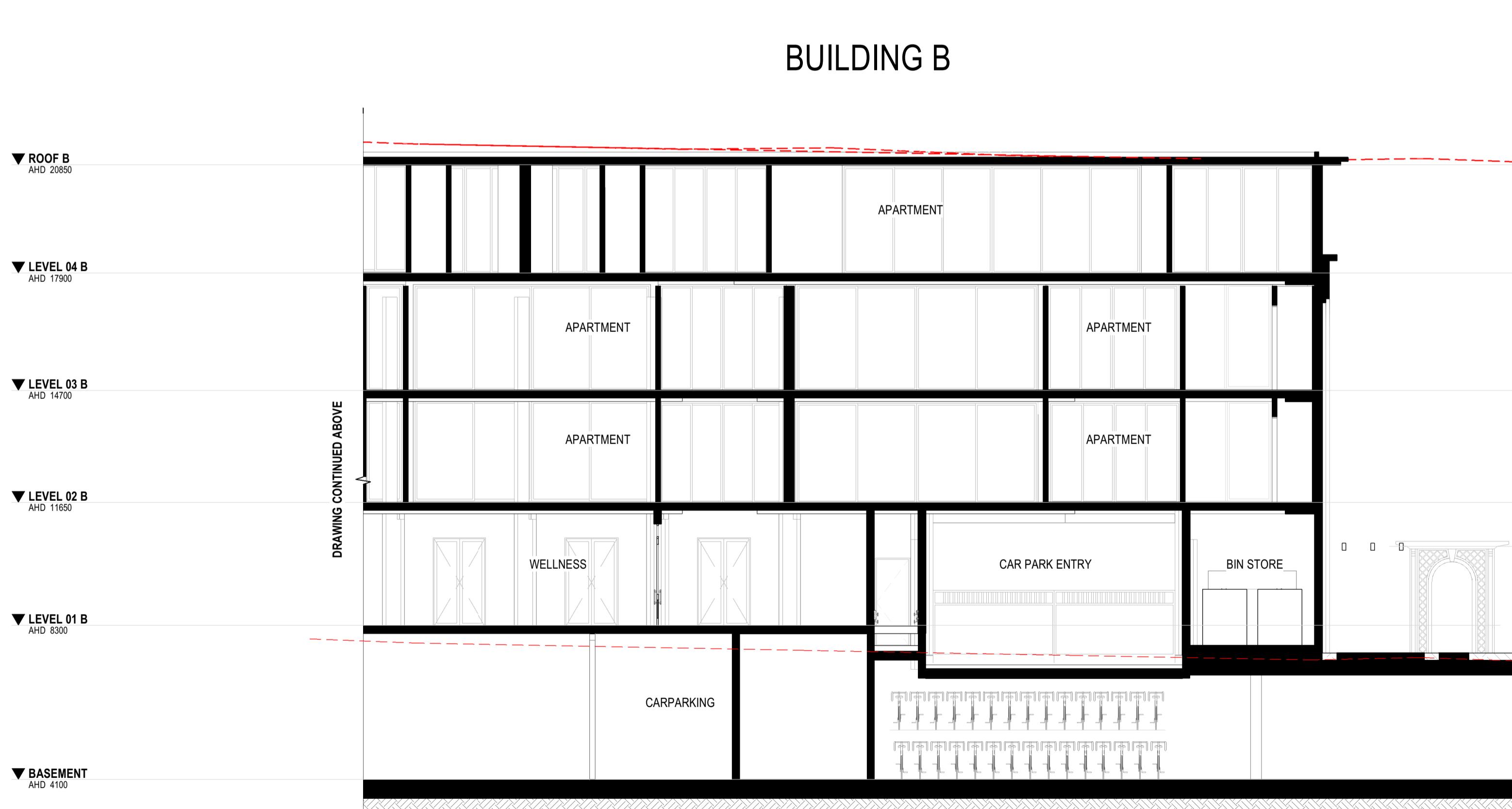
BUILDING A

- 13.6M ABOVE NGL

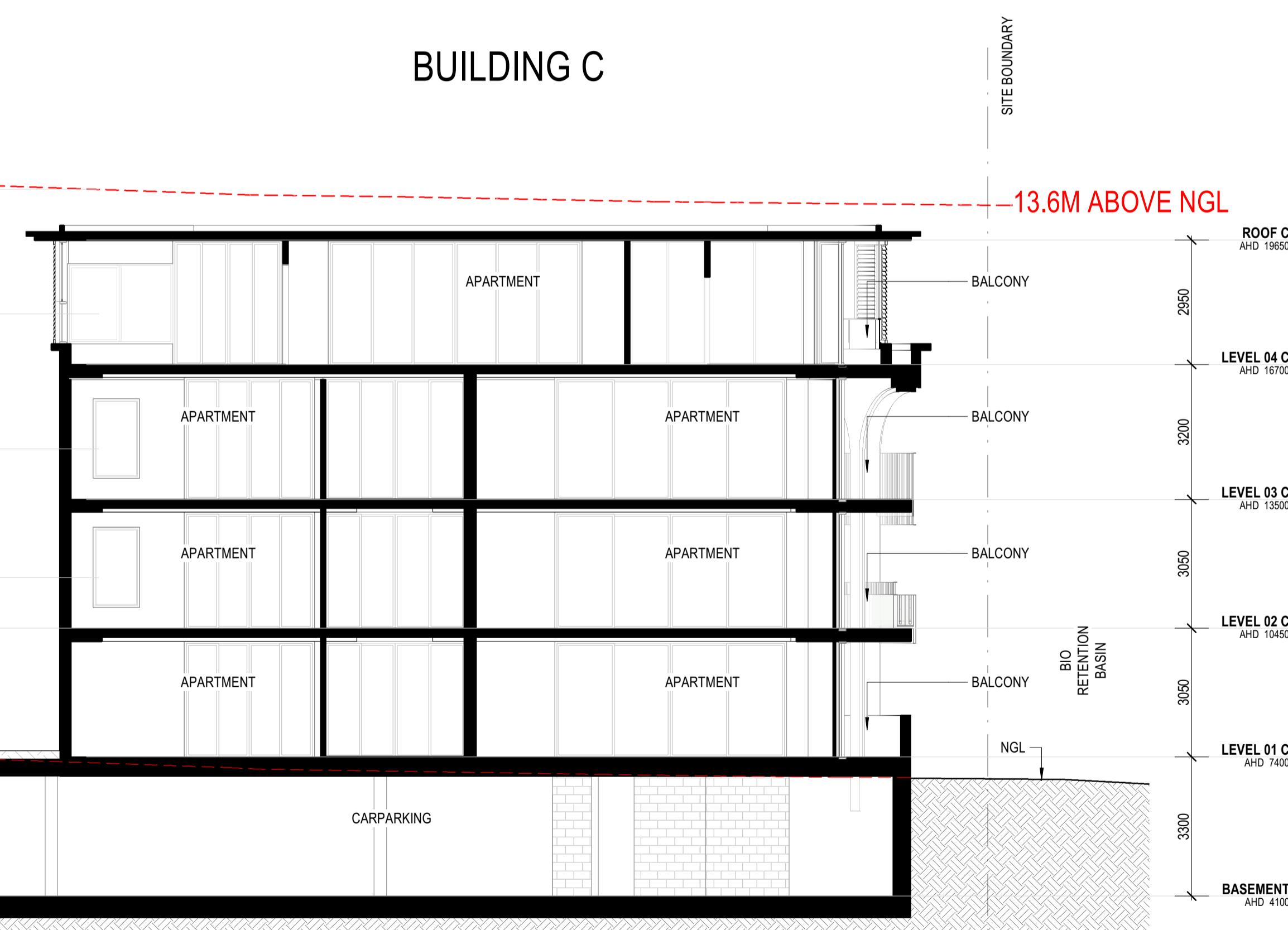


BUILDING B

BUILDING B



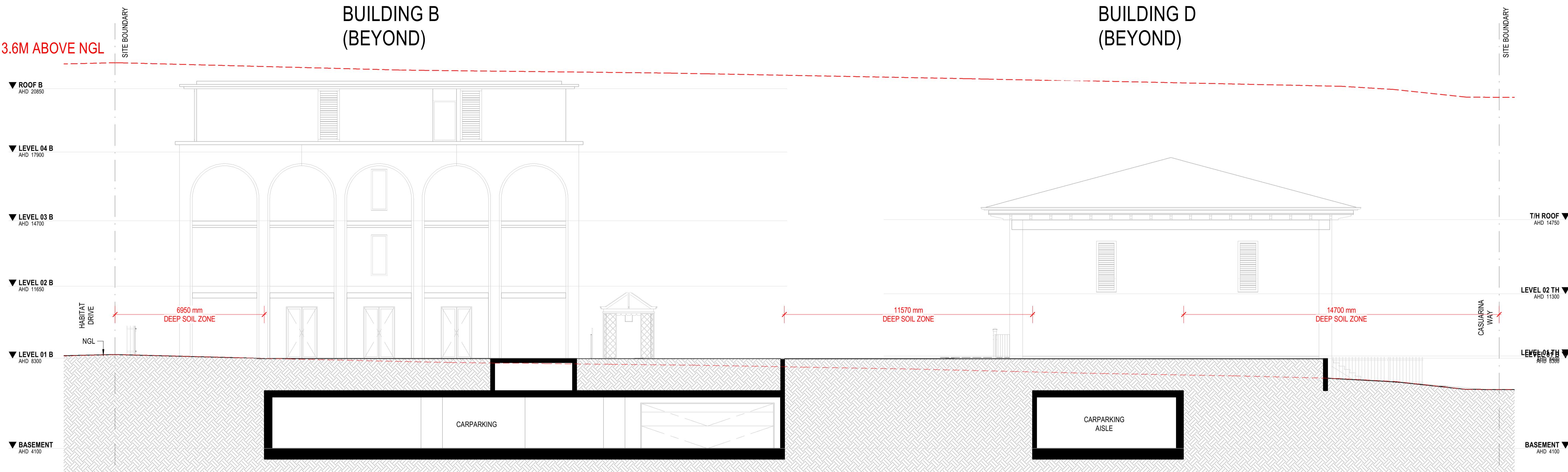
BUILDING C



3.6M ABOVE NGL

Section - Building A/B/C (N S) 2

| REVISION | CLIENT | QUALITY ASSURANCE | PROJECT | CONTRACT |
|---------------|------------------------------|--------------------------|--|--|
| ISSUE PURPOSE | DATE | NOTES | NOTES | NOTES |
| 1 2 | DA RFI ISSUE DA RFI ISSUE | 14.08.2023 15.12.2023 | <p>THIS PROJECT IS SUBJECT TO THE CG QUALITY ASSURANCE SYSTEM</p> <p><input checked="" type="checkbox"/> SCHEMATIC / CONCEPT DESIGN REVIEW</p> <p><input type="checkbox"/> DESIGN DEVELOPMENT REVIEW</p> <p><input type="checkbox"/> DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS.</p> <p><input type="checkbox"/> USE FIGURED DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS.</p> <p><input type="checkbox"/> TENDER DOCUMENTATION REVIEW</p> <p><input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW</p> | <p>THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF CONRAD GARTNER PTY LTD.</p> <p>CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.</p> <p>BRISBANE 4000 AUSTRALIA</p> <p>CONRAD GARTNER GROUP PTY LTD</p> <p>NSW NOMINATED ARCHITECT: LAWRENCE COALDO REG 1025</p> <p>ACN 646 63737 ABN 81 636 373</p> |
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| | | | <p>DATE</p> <p>15.12.2023</p> | <p>REVISION</p> <p>2</p> |
| | | | <p>CHECKED</p> <p>N/A</p> | <p>DRAWING NO.</p> <p>DA21</p> |
| | | | <p>JOB NO.</p> <p>2504</p> | |
| | | | <p>SCALE</p> <p>1:10 @ A1</p> | |
| | | | <p>DRAWING TITLE</p> <p>Section</p> | |



1 Section - Deep Soil Zones
1:100

REVISION
1 DA RFI ISSUE
15.12.2023

CLIENT
AZURE

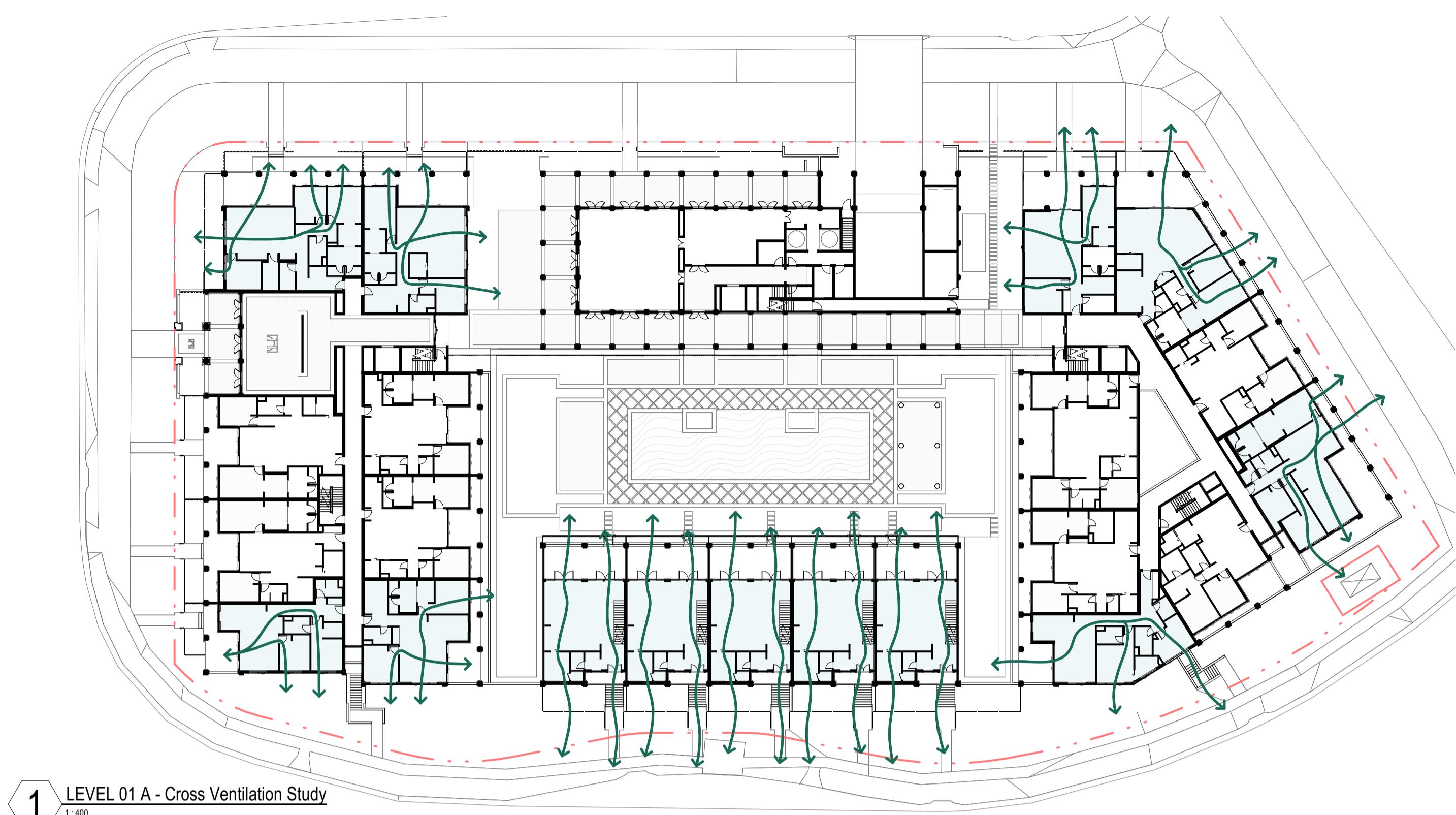
ISSUE PURPOSE
DA

QUALITY ASSURANCE
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DRAWN DATE CHECKED JOB NO. SCALE DRAWING TITLE
KRE 15.12.2023 NJA 21504 1:100 @ A1 Sections

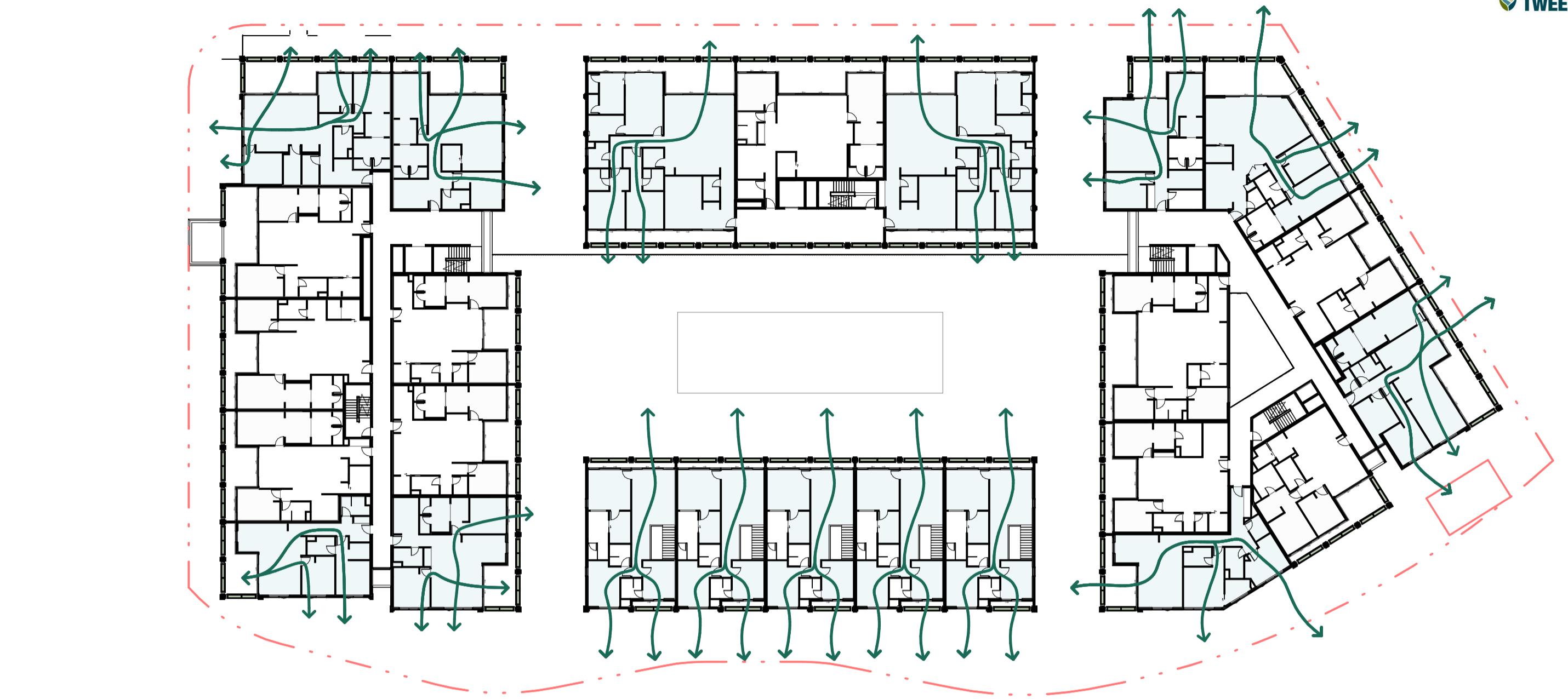
PROJECT
6 GRAND PARADE BY AZURE

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REV. DRAWING NO.
1 DA 213



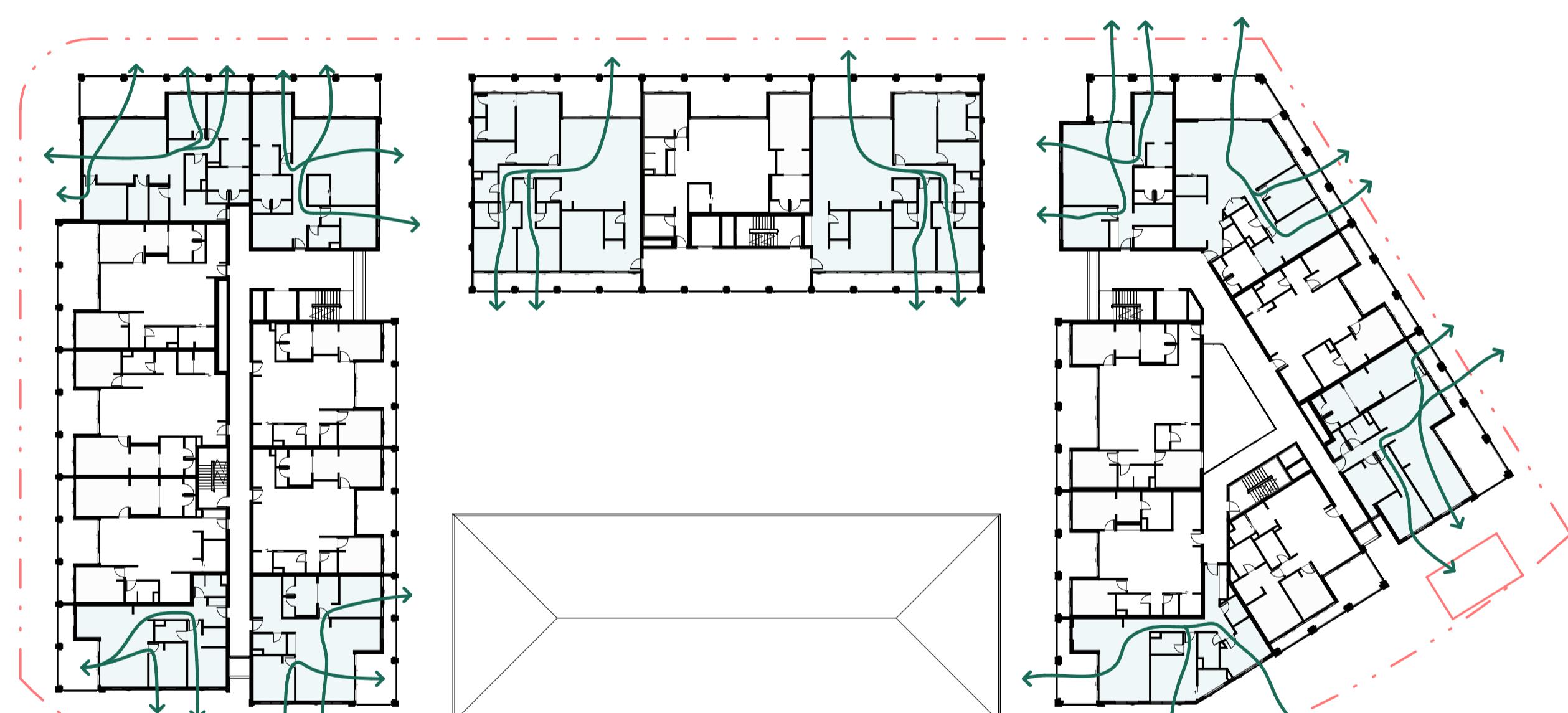
1 LEVEL 01 A - Cross Ventilation Study

Cross Ventilation: 13 of 21 units



2 LEVEL 02 A - Cross Ventilation Study

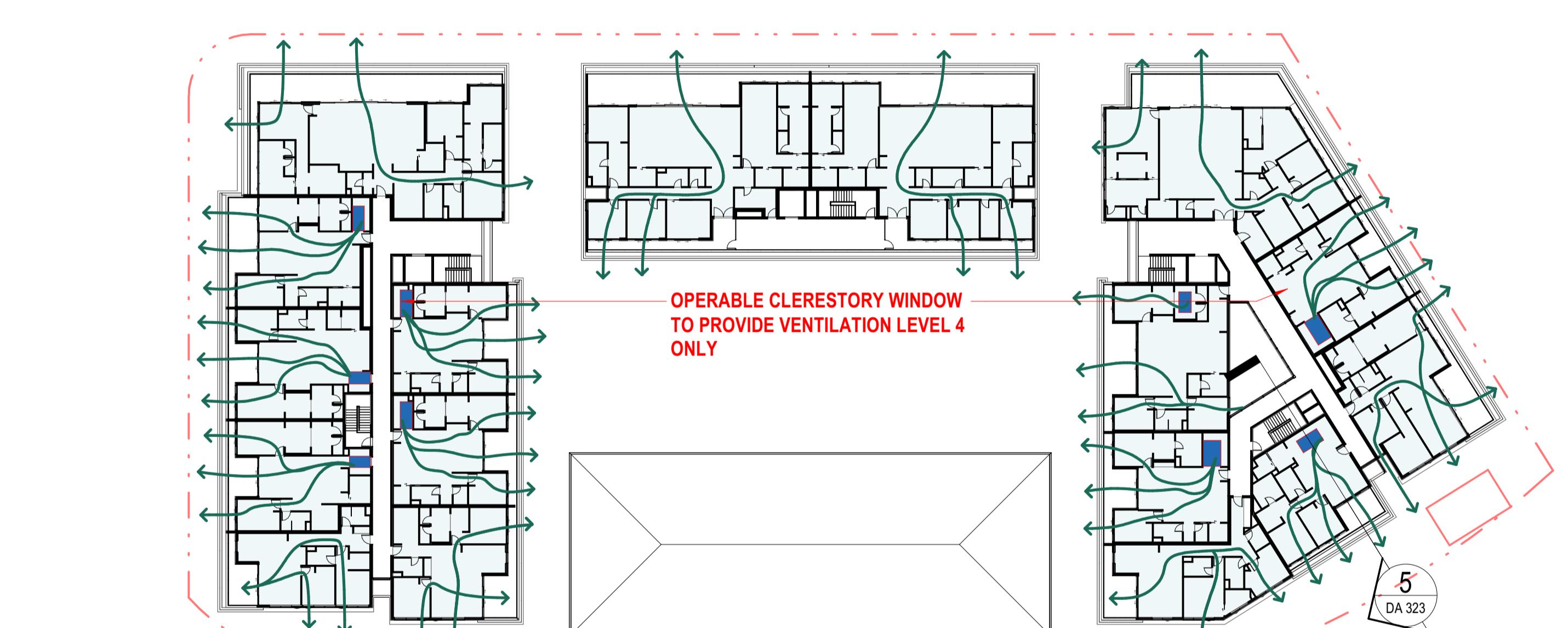
Cross Ventilation: 10 of 20 units
(excluding Building D)



3 LEVEL 03 A - Cross Ventilation Study

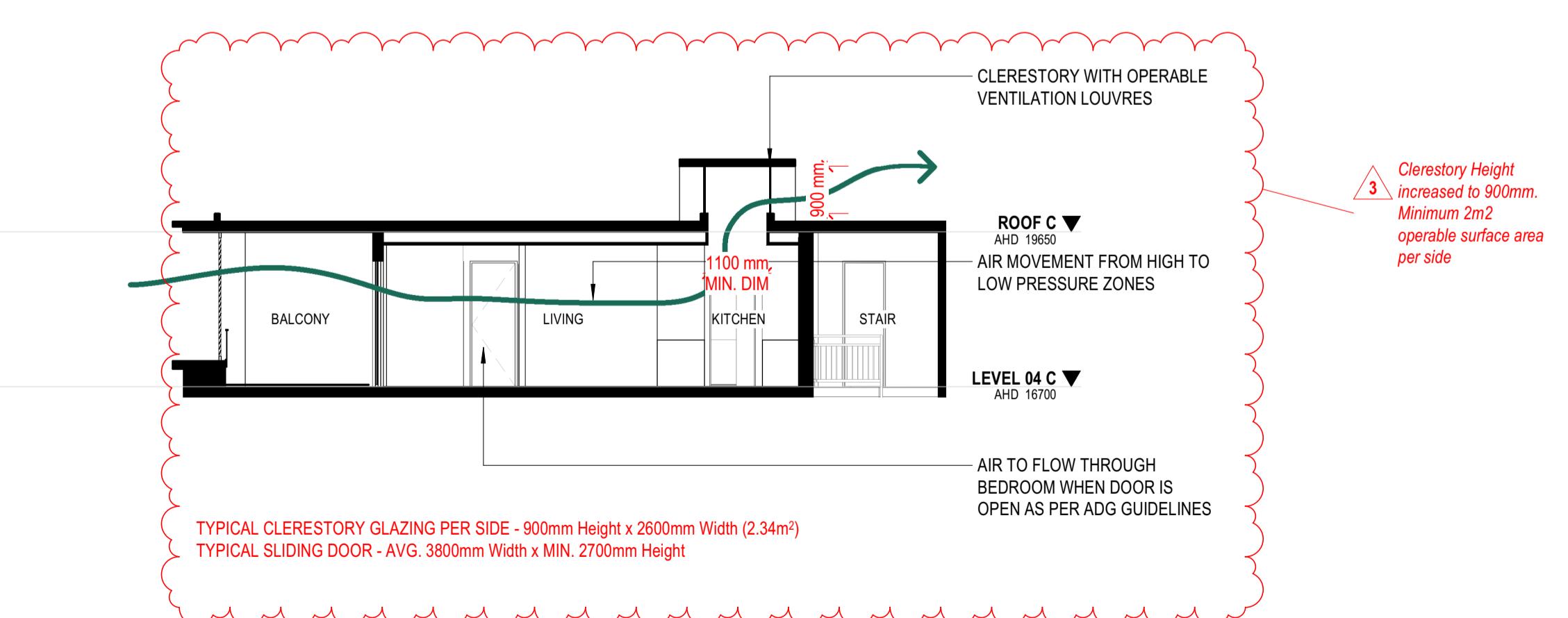
Cross Ventilation: 10 of 20 units

Total Cross Ventilation: 50 of 78 units / 64.1%



4 LEVEL 04 A - Cross Ventilation Study

Cross Ventilation: 17 of 17 units



5 Typical Clerestory Ventilation Section

REVISION
1 DA RFI ISSUE
2 DA RFI ISSUE
3 Issued for Information
14.08.2023
15.12.2023
19.02.2024

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AZURE
ISSUE PURPOSE
DA

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NSW NOMINATED ARCHITECT: LAWRENCE TOALDO REG. 10255

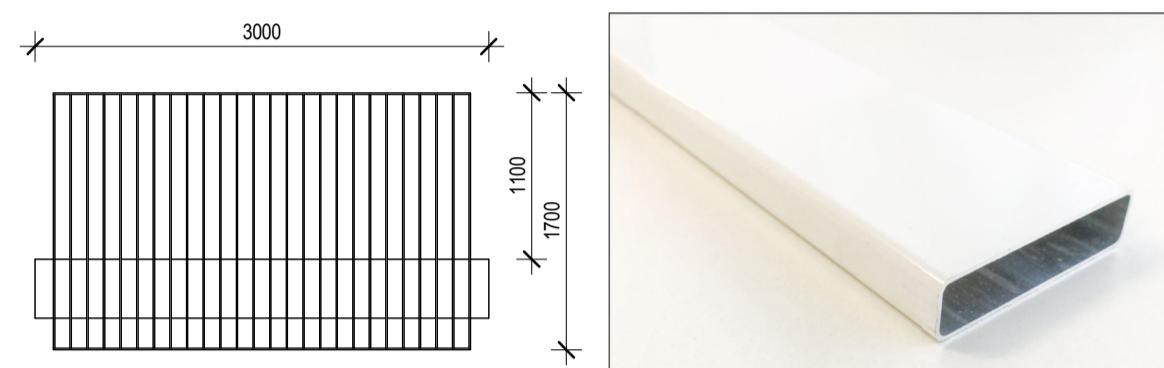
DRAWN DATE CHECKED JOB NO. SCALE DRAWING TITLE
KRE 19.02.2024 NJA 21 504 As indicated @ A1 Ventilation Diagram

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REV. DRAWING NO.
3 DA 323

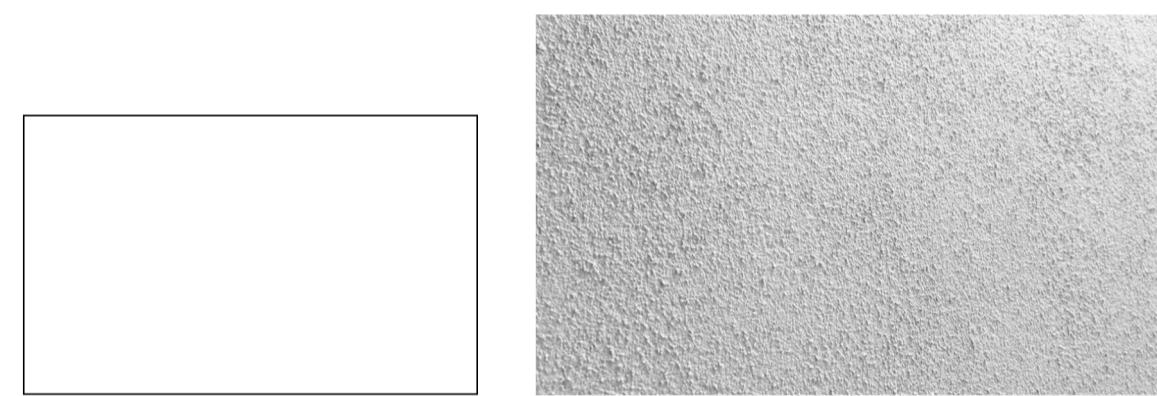
LEGEND

| | |
|------|--|
| BAL1 | BALUSTRADE, ALUM |
| BAL2 | BALUSTRADE, GRC PLANTER + ALUM |
| BAL3 | BALUSTRADE, ALUM + GLASS |
| CNR | CONCRETE, RENDERED |
| FEN | FENCE |
| GAT | GATE, ALUM |
| GL | GLASS (Safety, Clear) - omitted from this schedule |
| SCR1 | SCREEN, ALUM |
| SCR2 | SCREEN, ALUM |
| SCR3 | SCREEN, ALUM |



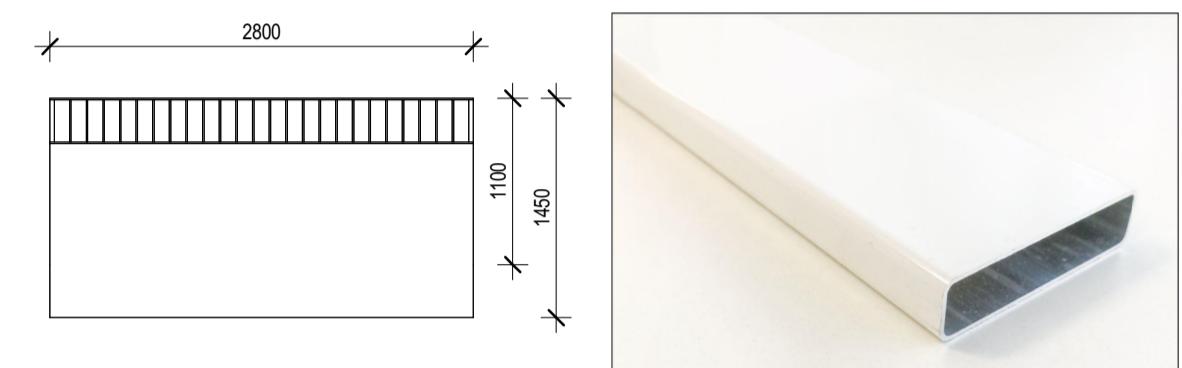
BAL1

Aluminium, Rectangular Sections
Powdercoated White



CNR

Concrete, Polymer-modified or Acrylic
Render applied to surface
Render to be White

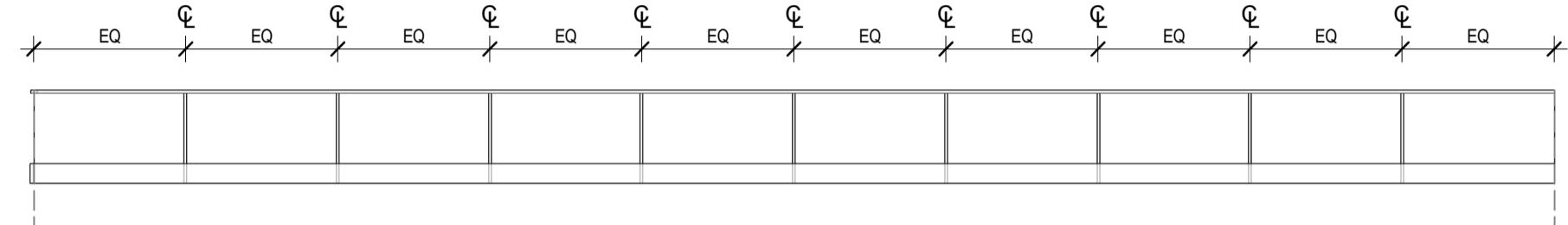


BAL2

Aluminium, Rectangular Sections
Powdercoated White
Glass Reinforced Concrete (GRC) planter
boxes contained within
Concrete Grey

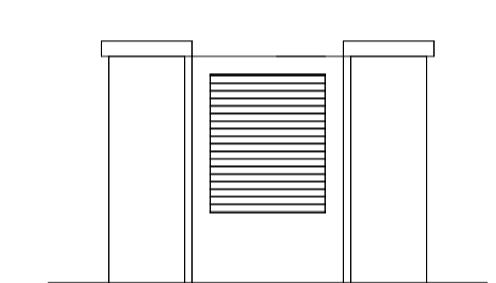
FEN

Aluminium, Rectangular and Square Sections
Powdercoated White



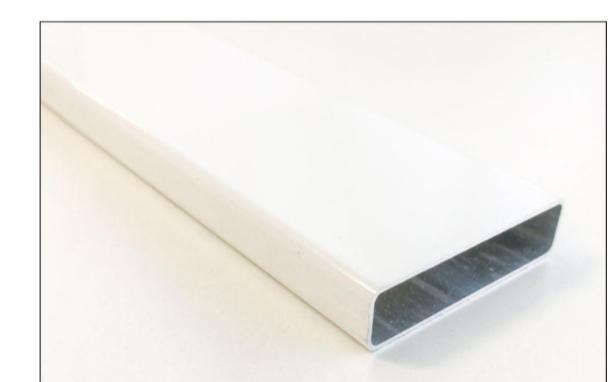
BAL3

Aluminium, Rectangular Sections
Powdercoated White
Safety Glass, Clear

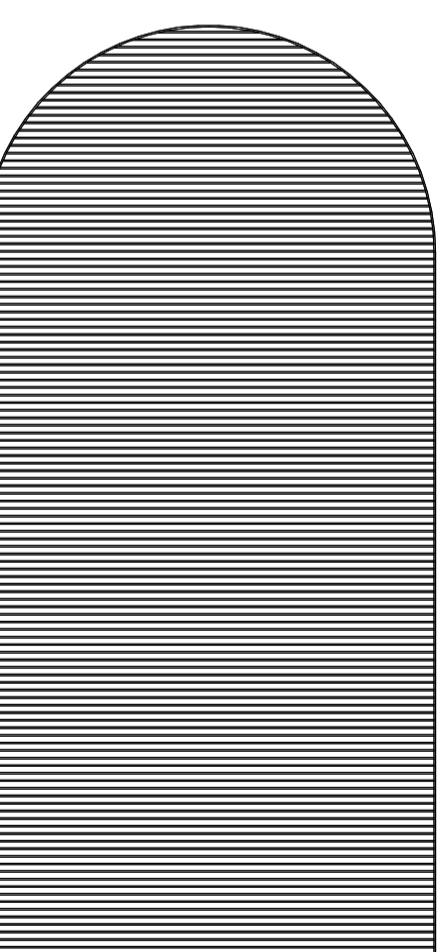


GAT

Posts
Concrete, Polymer-modified or Acrylic Render
applied to Surface
Render to be White

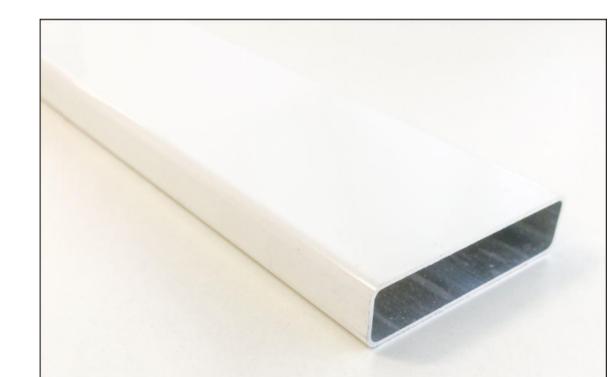


Gate
Aluminium, Rectangular and Square Sections
Powdercoated White



SCR3

Aluminium, Rectangular Sections
Powdercoated White



SCR1

Aluminium, Rectangular Sections
Powdercoated White



SCR2

Aluminium, Rectangular Sections
Powdercoated White

REVISION
1 Issued for Information 19.02.2024

CLIENT
AZURE

ISSUE PURPOSE
DA

QUALITY ASSURANCE

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NSW NOMINATED ARCHITECT: LAWRENCE TALDO REG. 10255

PROJECT

6 GRAND PARADE BY AZURE

DRAWN DATE CHECKED JOB NO. SCALE DRAWING TITLE
DF 19.02.2024 NJA 21504 1 : 50 @ A1 Material Palette

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REV. DRAWING NO.
1 DA 220

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1312417M_06

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1312417M lodged with the consent authority or certifier on 07 July 2022 with application PAN-235014.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary

Date of issue: Friday, 09 February 2024

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary

| | |
|--|-------------------------------|
| Project name | 6 Grand Parade _06 |
| Street address | 6 GRAND PARADE CASUARINA 2487 |
| Local Government Area | TWEED |
| Plan type and plan number | Deposited Plan 1264557 |
| Lot no. | 46 |
| Section no. | - |
| No. of residential flat buildings | 4 |
| No. of units in residential flat buildings | 78 |
| No. of multi-dwelling houses | 0 |
| No. of single dwelling houses | 0 |

Project score

| | | |
|-----------------|--------|-------------|
| Water | ✓ 46 | Target 40 |
| Thermal Comfort | ✓ Pass | Target Pass |
| Energy | ✓ 44 | Target 40 |

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408



Certificate Prepared by

Name / Company Name: ADP Consulting

ABN (if applicable):

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408

Description of project



| Project address | |
|--|-------------------------------|
| Project name | 6 Grand Parade _06 |
| Street address | 6 GRAND PARADE CASUARINA 2487 |
| Local Government Area | TWEED |
| Plan type and plan number | Deposited Plan 1264557 |
| Lot no. | 46 |
| Section no. | - |
| Project type | |
| No. of residential flat buildings | 4 |
| No. of units in residential flat buildings | 78 |
| No. of multi-dwelling houses | 0 |
| No. of single dwelling houses | 0 |
| Site details | |
| Site area (m ²) | 7338.34 |
| Roof area (m ²) | 4209.58 |
| Non-residential floor area (m ²) | 0.00 |
| Residential car spaces | 154 |
| Non-residential car spaces | 20 |

| Common area landscape | | |
|---|--------------|-------------|
| Common area lawn (m ²) | 168.53 | |
| Common area garden (m ²) | 1083.94 | |
| Area of indigenous or low water use species (m ²) | 0.00 | |
| Assessor details and thermal loads | | |
| Assessor number | HERA10210 | |
| Certificate number | HR-YLDOIX-06 | |
| Climate zone | 10 | |
| Ceiling fan in at least one bedroom | Yes | |
| Ceiling fan in at least one living room or other conditioned area | Yes | |
| Project score | | |
| Water | ✓ 46 | Target 40 |
| Thermal Comfort | ✓ Pass | Target Pass |
| Energy | ✓ 44 | Target 40 |

Description of project

The tables below describe the dwellings and common areas within the project

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408

Residential flat buildings - Building A, 34 dwellings, 4 storeys above ground



| Dwelling no. | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
|--------------|-----------------|--|--|---|---|
| 2AL2 | 2 | 107.4 | 0.00 | 0.00 | 0.00 |
| 2BL2 | 2 | 111.4 | 0.00 | 0.00 | 0.00 |
| 2CL2 | 2 | 104.4 | 0.00 | 0.00 | 0.00 |
| 2DL2 | 2 | 82.4 | 0.00 | 0.00 | 0.00 |
| 2EL2 | 2 | 100.00 | 0.00 | 0.00 | 0.00 |
| 2F1L2 | 2 | 97.6 | 0.00 | 0.00 | 0.00 |
| 2F2L2 | 2 | 98.6 | 0.00 | 0.00 | 0.00 |
| 2GL2 | 2 | 116.5 | 0.00 | 0.00 | 0.00 |
| 3AL3 | 3 | 127.2 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
|--------------|-----------------|--|--|---|---|
| 2AL3 | 2 | 107.4 | 0.00 | 0.00 | 0.00 |
| 2BL3 | 2 | 111.4 | 0.00 | 0.00 | 0.00 |
| 2CL3 | 2 | 104.4 | 0.00 | 0.00 | 0.00 |
| 2DL3 | 2 | 82.4 | 0.00 | 0.00 | 0.00 |
| 2EL3 | 2 | 100.00 | 0.00 | 0.00 | 0.00 |
| 2F1L3 | 2 | 97.6 | 0.00 | 0.00 | 0.00 |
| 2F2L3 | 2 | 98.6 | 0.00 | 0.00 | 0.00 |
| 2GL3 | 2 | 116.5 | 0.00 | 0.00 | 0.00 |
| 4AL4 | 4+ | 220.5 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
|--------------|-----------------|--|--|---|---|
| 2AL4 | 2 | 108.5 | 0.00 | 0.00 | 0.00 |
| 2BL4 | 2 | 111.4 | 0.00 | 0.00 | 0.00 |
| 2CL4 | 2 | 104.4 | 0.00 | 0.00 | 0.00 |
| 2DL4 | 2 | 82.4 | 0.00 | 0.00 | 0.00 |
| 2EL4 | 2 | 100.00 | 0.00 | 0.00 | 0.00 |
| 2F1L4 | 2 | 97.6 | 0.00 | 0.00 | 0.00 |
| 2F2L4 | 2 | 98.6 | 0.00 | 0.00 | 0.00 |
| 3AL1 | 3 | 127.2 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
|--------------|-----------------|--|--|---|---|
| 2BL1 | 2 | 111.4 | 0.00 | 0.00 | 0.00 |
| 2CL1 | 2 | 104.4 | 0.00 | 0.00 | 0.00 |
| 2DL1 | 2 | 82.4 | 0.00 | 0.00 | 0.00 |
| 2EL1 | 2 | 100.00 | 0.00 | 0.00 | 0.00 |
| 2F1L1 | 2 | 97.6 | 0.00 | 0.00 | 0.00 |
| 2F2L1 | 2 | 98.6 | 0.00 | 0.00 | 0.00 |
| 2GL1 | 2 | 116.5 | 0.00 | 0.00 | 0.00 |
| 3AL2 | 3 | 127.2 | 0.00 | 0.00 | 0.00 |

Residential flat buildings - Building B, 8 dwellings, 3 storeys above ground

| Dwelling no. | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
|--------------|-----------------|--|--|---|---|
| 2HL2 | 2 | 129.3 | 0.00 | 0.00 | 0.00 |
| 3B2L2 | 3 | 188.5 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
|--------------|-----------------|--|--|---|---|
| 2HL4 | 2 | 129.3 | 0.00 | 0.00 | 0.00 |
| 3B2L3 | 3 | 185.00 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
|--------------|-----------------|--|--|---|---|
| 3B1L2 | 3 | 185.00 | 0.00 | 0.00 | 0.00 |
| 4BL4 | 4+ | 236.00 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
|--------------|-----------------|--|--|---|---|
| 3B1L3 | 3 | 188.5 | 0.00 | 0.00 | 0.00 |
| 4CL4 | 4+ | 229.4 | 0.00 | 0.00 | 0.00 |

Residential flat buildings - Building C, 31 dwellings, 4 storeys above ground

| Dwelling no. | | | | | |
|--------------|-----------------|--|--|---|---|
| | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
| 2IL1 | 2 | 103.2 | 0.00 | 0.00 | 0.00 |
| 2JL2 | 2 | 99.00 | 0.00 | 0.00 | 0.00 |
| 2KL2 | 2 | 98.9 | 0.00 | 0.00 | 0.00 |
| 2LL2 | 2 | 91.00 | 0.00 | 0.00 | 0.00 |
| 2ML2 | 2 | 95.8 | 0.00 | 0.00 | 0.00 |
| 2NL2 | 2 | 130.00 | 0.00 | 0.00 | 0.00 |
| 3CL3 | 3 | 126.9 | 0.00 | 0.00 | 0.00 |
| 3DL3 | 3 | 118.9 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | | | | | |
|--------------|-----------------|--|--|---|---|
| | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
| 2IL2 | 2 | 103.2 | 0.00 | 0.00 | 0.00 |
| 2JL3 | 2 | 99.00 | 0.00 | 0.00 | 0.00 |
| 2KL3 | 2 | 98.9 | 0.00 | 0.00 | 0.00 |
| 2LL3 | 2 | 91.00 | 0.00 | 0.00 | 0.00 |
| 2ML3 | 2 | 95.8 | 0.00 | 0.00 | 0.00 |
| 2NL3 | 2 | 130.00 | 0.00 | 0.00 | 0.00 |
| 3CL4 | 3 | 126.9 | 0.00 | 0.00 | 0.00 |
| 3DL4 | 3 | 118.9 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | | | | | |
|--------------|-----------------|--|--|---|---|
| | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
| 2IL3 | 2 | 103.2 | 0.00 | 0.00 | 0.00 |
| 2JL4 | 2 | 99.00 | 0.00 | 0.00 | 0.00 |
| 2KL4 | 2 | 98.9 | 0.00 | 0.00 | 0.00 |
| 2LL4 | 2 | 91.00 | 0.00 | 0.00 | 0.00 |
| 2ML4 | 2 | 95.8 | 0.00 | 0.00 | 0.00 |
| 3CL1 | 3 | 126.9 | 0.00 | 0.00 | 0.00 |
| 3DL1 | 3 | 118.9 | 0.00 | 0.00 | 0.00 |
| 4DL4 | 4+ | 221.00 | 0.00 | 0.00 | 0.00 |

| Dwelling no. | | | | | |
|--------------|-----------------|--|--|---|---|
| | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
| 2JL1 | 2 | 99.00 | 0.00 | 0.00 | 0.00 |
| 2KL1 | 2 | 98.9 | 0.00 | 0.00 | 0.00 |
| 2LL1 | 2 | 91.00 | 0.00 | 0.00 | 0.00 |
| 2ML1 | 2 | 95.8 | 0.00 | 0.00 | 0.00 |
| 2NL1 | 2 | 130.00 | 0.00 | 0.00 | 0.00 |
| 3CL2 | 3 | 126.9 | 0.00 | 0.00 | 0.00 |
| 3DL2 | 3 | 118.9 | 0.00 | 0.00 | 0.00 |

Residential flat buildings - Building D, 5 dwellings, 2 storeys above ground

| Dwelling no. | | | | | |
|--------------|-----------------|--|--|---|---|
| | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
| 3G1L1 | 3 | 220.7 | 0.00 | 26.86 | 0.00 |
| 3G5L1 | 3 | 220.9 | 0.00 | 34.75 | 0.00 |

| Dwelling no. | | | | | |
|--------------|-----------------|--|--|---|---|
| | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
| 3G2L1 | 3 | 221.2 | 0.00 | 29.8 | 0.00 |

| Dwelling no. | | | | | |
|--------------|-----------------|--|--|---|---|
| | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
| 3G3L1 | 3 | 220.9 | 0.00 | 34.81 | 0.00 |

| Dwelling no. | | | | | |
|--------------|-----------------|--|--|---|---|
| | No. of bedrooms | Conditioned floor area (m ²) | Unconditioned floor area (m ²) | Area of garden & lawn (m ²) | Indigenous species (min area m ²) |
| 3G4L1 | 3 | 220.2 | 0.00 | 33.62 | 0.00 |

THIS IS THE PLAN REFERRED
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CONSENT NO. DA22/0408



Description of project

The tables below describe the dwellings and common areas within the project

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408

Common areas of the development (non-building specific)

| Common area | Floor area (m ²) |
|------------------------|------------------------------|
| Car park area | 5134.92 |
| Plant or service rooms | 49.19 |
| Store Rooms | 69.68 |

| Common area | Floor area (m ²) |
|--------------|------------------------------|
| Bike Store | 16.24 |
| MSSB + Comms | 31.27 |
| Hallway | 770.79 |

| Common area | Floor area (m ²) |
|-------------|------------------------------|
| Bin Rooms | 69.68 |
| Stairs | 240.89 |

Common areas of unit building - Building A

| Common area | Floor area (m ²) |
|------------------|------------------------------|
| Lift car (No. 1) | 0.00 |

| Common area | Floor area (m ²) |
|----------------------------|------------------------------|
| Hallway/lobby type (No. 2) | 132.79 |

Common areas of unit building - Building B

| Common area | Floor area (m ²) |
|-------------|------------------------------|
| Fitness | 50.9 |
| Lounge | 108.26 |

| Common area | Floor area (m ²) |
|------------------|------------------------------|
| Lift car (No. 2) | 0.00 |
| Lobby | 33.18 |

| Common area | Floor area (m ²) |
|---------------|------------------------------|
| Toilets | 6.21 |
| Spa and Sauna | 50.67 |

Common areas of unit building - Building C

| Common area | Floor area (m ²) |
|------------------|------------------------------|
| Lift car (No. 3) | 0.00 |

Schedule of BASIX commitments

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408

1. Commitments for Residential flat buildings - Building A

- (a) Dwellings
 - (i) Water
 - (ii) Energy
 - (iii) Thermal Comfort
- (b) Common areas and central systems/facilities
 - (i) Water
 - (ii) Energy



2. Commitments for Residential flat buildings - Building B

- (a) Dwellings
 - (i) Water
 - (ii) Energy
 - (iii) Thermal Comfort
- (b) Common areas and central systems/facilities
 - (i) Water
 - (ii) Energy

3. Commitments for Residential flat buildings - Building C

- (a) Dwellings
 - (i) Water
 - (ii) Energy
 - (iii) Thermal Comfort
- (b) Common areas and central systems/facilities
 - (i) Water
 - (ii) Energy

4. Commitments for Residential flat buildings - Building D

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

(b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

5. Commitments for single dwelling houses

6. Commitments for multi-dwelling houses

7. Commitments for common areas and central systems/facilities for the development (non-building specific)

(a) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

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CONSENT NO. DA22/0408



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted or being granted, or any development certificate issued, for the proposed development, that BASIX commitments be complied with.

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
GRANTED OR BEING GRANTED
OR CERTIFICATE ISSUED

1. Commitments for Residential flat buildings - Building A



(a) Dwellings

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table). | ✓ | ✓ | |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it. | | ✓ | ✓ |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below. | | ✓ | ✓ |
| (e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. | | ✓ ✓ | ✓ ✓ |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. | ✓ | ✓ | |
| (f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both). | | ✓ | |
| (g) The pool or spa must be located as specified in the table. | ✓ | ✓ | |
| (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified. | ✓ | ✓ | ✓ |

| Dwelling no. | Fixtures | | | | | Appliances | | Individual pool | | | | Individual spa | | |
|---------------|-------------------------------|-----------------------------|------------------|-------------------|-------------------------------|---------------------|------------------|---------------------|------------|---------------|-------------|---------------------|-----------|------------|
| | All shower-heads | All toilet flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish-washers | Volume (max volume) | Pool cover | Pool location | Pool shaded | Volume (max volume) | Spa cover | Spa shaded |
| All dwellings | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | 4 star | no | 4 star | 4 star | - | - | - | - | - | - | - |

| | | Alternative water source | | | | | | | | |
|---------------|----------------------------------|--------------------------|---|--|--|----------------------|-----------------------|--------------------|-------------|------------|
| Dwelling no. | Alternative water supply systems | Size | Configuration | | | Landscape connection | Toilet connection (s) | Laundry connection | Pool top-up | Spa top-up |
| All dwellings | No alternative water supply | - | THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408 | | | - | - | - | - | - |
| All dwellings | No alternative water supply | - | | | | - | - | - | - | - |



| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system. | ✓ | ✓ | ✓ |
| (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table. | | ✓ | ✓ |
| (d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms. | | ✓ | ✓ |
| (e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting. | | ✓ | ✓ |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|---|-----------------|
| (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight. | ✓ | ✓ | ✓ |
| (g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: <ul style="list-style-type: none"> (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. | | ✓ <small>THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408</small> | |
| (h) The applicant must install in the dwelling: <ul style="list-style-type: none"> (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. | | ✓  TWEED SHIRE COUNCIL | ✓ |
| (i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated". | | ✓ | |

| | Hot water | Bathroom ventilation system | | Kitchen ventilation system | | Laundry ventilation system | |
|---------------|----------------------------------|--|----------------------|--|----------------------|--|----------------------|
| Dwelling no. | Hot water system | Each bathroom | Operation control | Each kitchen | Operation control | Each laundry | Operation control |
| All dwellings | Central hot water system (No. 1) | individual fan, ducted to façade or roof | interlocked to light | individual fan, ducted to façade or roof | manual switch on/off | individual fan, ducted to façade or roof | interlocked to light |

| | Cooling | | Heating | | Artificial lighting | | | | | | Natural lighting | |
|--------------|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|----------------------------|-------------------------------|----------------|-----------------------|----------------|----------------|-------------------------------|--------------|
| Dwelling no. | living areas | bedroom areas | living areas | bedroom areas | No. of bedrooms &/or study | No. of living &/or diningroom | Each kitchen | All bathrooms/toilets | Each laundry | All hallways | No. of bathrooms &/or toilets | Main kitchen |
| 4AL4 | Central cooling system (No. 1)(zoned) | Central cooling system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | 4(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |

| Dwelling no. | Cooling | | Heating | | Artificial lighting | | | | | | Natural lighting | |
|---------------------|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|----------------------------|-------------------------------|----------------|------------------------|----------------|----------------|-------------------------------|--------------|
| | living areas | bedroom areas | living areas | bedroom areas | No. of bedrooms &/or study | No. of living &/or diningroom | Each kitchen | All bathrooms/ toilets | Each laundry | All hallways | No. of bathrooms &/or toilets | Main kitchen |
| 3AL1, 3AL2, 3AL3 | Central cooling system (No. 1)(zoned) | Central cooling system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | 3(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |
| All other dwellings | Central cooling system (No. 1)(zoned) | Central cooling system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | 2 | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |

| | Individual pool | | Individual spa | | Appliances & other efficiency measures | | | | | | | |
|---------------|---------------------|-------|--------------------|-------|--|---------------|------------------------------|------------|----------------|---------------|---|--|
| Dwelling no. | Pool heating system | Timer | Spa heating system | Timer | Kitchen cooktop/ oven | Refrigerator | Well ventilated fridge space | Dishwasher | Clothes washer | Clothes dryer | Indoor or sheltered clothes drying line | Private outdoor or unsheltered clothes drying line |
| All dwellings | - | - | - | - | induction cooktop & electric oven | not specified | yes | 4 star | 4 star | 5 star | yes | no |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|--|-----------------|
| (a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development. | | THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408 | |
| (b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| (c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below. | |  TWEED SHIRE COUNCIL | |
| (d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case. | ✓ | | |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | | ✓ | |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |
| (g) Where there is an in-slab heating or cooling system, the applicant must: | ✓ | ✓ | ✓ |
| (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or | | | |
| (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. | | | |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| (i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. | ✓ | | |
| (j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | | ✓ | |

| Dwelling no. | Thermal loads | |
|--------------|---|---|
| | Area adjusted heating load (in MJ/m ² /yr) | Area adjusted cooling load (in MJ/m ² /yr) |
| 2AL2 | 2.6 | 14 |
| 2AL3 | 2.8 | 13.9 |
| 2AL4 | 8.7 | 22 |
| 2BL1 | 5.9 | 17.2 |
| 2BL2 | 1 | 10.6 |
| 2BL3 | 1.1 | 10.9 |
| 2BL4 | 6.8 | 17 |
| 2CL1 | 4.9 | 21.6 |
| 2CL2 | 0.9 | 13.7 |
| 2CL3 | 1 | 13.3 |
| 2CL4 | 5.3 | 20.3 |
| 2DL1 | 4.4 | 41.3 |
| 2DL2 | 3.3 | 30.7 |



| Dwelling no. | Thermal loads | |
|---------------------|---|---|
| | Area adjusted heating load (in MJ/m ² /yr) | Area adjusted cooling load (in MJ/m ² /yr) |
| 2DL3 | 3.6 | 29.8 |
| 2DL4 | 13.3 | 34.3 |
| 2EL1 | 18 | 35.9 |
| 2EL2 | 10.7 | 31.5 |
| 2EL3 | 10.7 | 30.9 |
| 2EL4 | 17.4 | 38.7 |
| 2F1L1 | 18.6 | 20.1 |
| 2F1L2 | 9.4 | 12.9 |
| 2F1L3 | 9.5 | 13.1 |
| 2F1L4 | 14.3 | 22.3 |
| 2F2L1 | 17.9 | 19.2 |
| 2F2L2 | 9.5 | 12.7 |
| 2F2L3 | 9.8 | 12.3 |
| 2F2L4 | 14.9 | 21.4 |
| 2GL1 | 17.00 | 23 |
| 2GL2 | 12.9 | 25.1 |
| 2GL3 | 13.3 | 25.2 |
| 3AL1 | 5.1 | 40.8 |
| 3AL2 | 1.2 | 36.2 |
| 3AL3 | 1.9 | 38.2 |
| All other dwellings | 12.7 | 32.2 |

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TO IN DEVELOPMENT
CONSENT NO. DA22/0408



(b) Common areas and central systems/facilities

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table. | | ✓ | ✓ |
| (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table. | ✓ | ✓ | ✓ |
| (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table. | ✓ | ✓ | |
| (d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. | | ✓ | |
| (e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table. | | ✓ | ✓ |
| (f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table. | | ✓ | ✓ |

| Common area | Showerheads rating | Toilets rating | Taps rating | Clothes washers rating |
|------------------|-------------------------------|----------------|-------------|----------------------------|
| All common areas | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | no common laundry facility |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified. | | ✓ | ✓ |
| (b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. | | ✓ | ✓ |
| (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. | ✓ | ✓ | ✓ |

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TO IN DEVELOPMENT
CONSENT NO. DA22/0408



| | Common area ventilation system | | Common area lighting | | |
|----------------------------|--------------------------------|--------------------------------|-------------------------------------|-------------------------------|-----------------------------|
| Common area | Ventilation system type | Ventilation efficiency measure | Primary type of artificial lighting | Lighting efficiency measure | Lighting control system/BMS |
| Lift car (No. 1) | - | - | light-emitting diode | connected to lift call button | no |
| Hallway/lobby type (No. 2) | no mechanical ventilation | - | light-emitting diode | motion sensors | no |

| Central energy systems | Type | Specification |
|------------------------|--------------------------------------|--|
| Lift (No. 1) | gearless traction with V V V F motor | Number of levels (including basement): 5 |

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CONSENT NO. DA22/0408



2. Commitments for Residential flat buildings - Building B

(a) Dwellings



| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table). | ✓ | ✓ | |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it. | | ✓ | ✓ |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below. | | ✓ | ✓ |
| (e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. | | ✓ | ✓ |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. | ✓ | ✓ | |
| (f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both). | | ✓ | |
| (g) The pool or spa must be located as specified in the table. | ✓ | ✓ | |
| (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified. | ✓ | ✓ | ✓ |

| Dwelling no. | Fixtures | | | | | Appliances | | Individual pool | | | | Individual spa | | |
|---------------|-------------------------------|-----------------------------|------------------|-------------------|-------------------------------|---------------------|------------------|---------------------|------------|---------------|-------------|---------------------|-----------|------------|
| | All shower-heads | All toilet flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish-washers | Volume (max volume) | Pool cover | Pool location | Pool shaded | Volume (max volume) | Spa cover | Spa shaded |
| All dwellings | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | 4 star | no | 4 star | 4 star | - | - | - | - | - | - | - |

| Alternative water source | | | | | | | | | |
|--------------------------|----------------------------------|------|--|----------------------|-----------------------|--------------------|-------------|------------|--|
| Dwelling no. | Alternative water supply systems | Size | Configuration | Landscape connection | Toilet connection (s) | Laundry connection | Pool top-up | Spa top-up | |
| All dwellings | No alternative water supply | - | - THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408 | - | - | - | - | - | |
| All dwellings | No alternative water supply | - | - | - | - | - | - | - | |



| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system. | ✓ | ✓ | ✓ |
| (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table. | | ✓ | ✓ |
| (d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms. | | ✓ | ✓ |
| (e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting. | | ✓ | ✓ |
| (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight. | ✓ | ✓ | ✓ |
| (g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: <ul style="list-style-type: none"> (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. | | ✓ | |
| (h) The applicant must install in the dwelling: | | | |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; | | ✓ | |
| (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and | | ✓ | ✓ |
| (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. | | ✓ | |
| (i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated". | | ✓ | |

| | Hot water | Bathroom ventilation system | | Kitchen ventilation system | | Laundry ventilation system | |
|---------------|----------------------------------|--|----------------------|--|----------------------|--|----------------------|
| Dwelling no. | Hot water system | Each bathroom | Operation control | Each kitchen | Operation control | Each laundry | Operation control |
| All dwellings | Central hot water system (No. 1) | individual fan, ducted to façade or roof | interlocked to light | individual fan, ducted to façade or roof | manual switch on/off | individual fan, ducted to façade or roof | interlocked to light |

| | Cooling | | Heating | | Artificial lighting | | | | | | Natural lighting | | |
|---------------------|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|----------------------------|-------------------------------|----------------|-----------------------|----------------|----------------|-------------------------------|--------------|----|
| Dwelling no. | living areas | bedroom areas | living areas | bedroom areas | No. of bedrooms &/or study | No. of living &/or diningroom | Each kitchen | All bathrooms/toilets | Each laundry | All hallways | No. of bathrooms &/or toilets | Main kitchen | |
| 2HL2, 2HL4 | Central cooling system (No. 1)(zoned) | Central cooling system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | 2(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |
| 4BL4, 4CL4 | Central cooling system (No. 1)(zoned) | Central cooling system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | 4(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |
| All other dwellings | Central cooling system (No. 1)(zoned) | Central cooling system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | 3(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |

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CONSENT NO. DA22/0408

| | Individual pool | | Individual spa | | Appliances & other efficiency measures | | | | | | | | |
|---------------|---------------------|-------|--------------------|-------|--|---------------|------------------------------|------------|----------------|---------------|---|--|--|
| Dwelling no. | Pool heating system | Timer | Spa heating system | Timer | Kitchen cooktop/ oven | Refrigerator | Well ventilated fridge space | Dishwasher | Clothes washer | Clothes dryer | Indoor or sheltered clothes drying line | Private outdoor or unsheltered clothes drying line | |
| All dwellings | - | - | - | - | induction cooktop & electric oven | not specified | yes | 4 star | 4 star | 5 star | yes | no | |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|--|-----------------|
| (a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development. | | THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408 | |
| (b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | |  TWEED SHIRE COUNCIL | |
| (c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below. | | | |
| (d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case. | ✓ | | |
| (e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | | ✓ | |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |
| (g) Where there is an in-slab heating or cooling system, the applicant must: | ✓ | ✓ | ✓ |
| (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or | | | |
| (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. | | | |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| (i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. | ✓ | | |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | | ✓ | |

| Dwelling no. | Thermal loads | |
|---------------------|---|---|
| | Area adjusted heating load (in MJ/m ² /yr) | Area adjusted cooling load (in MJ/m ² /yr) |
| 2HL2 | 3.5 | 21.1 |
| 2HL4 | 3.1 | 19.8 |
| 3B1L2 | 6.2 | 43.3 |
| 3B1L3 | 2.5 | 41.5 |
| 3B2L2 | 9 | 38.6 |
| 3B2L3 | 4.7 | 39 |
| 4BL4 | 12.5 | 32.1 |
| All other dwellings | 14.3 | 31.1 |

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CONSENT NO. DA22/0408



(b) Common areas and central systems/facilities

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table. | | ✓ | ✓ |
| (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table. | ✓ | ✓ | ✓ |
| (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table. | ✓ | ✓ | |
| (d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. | | ✓ | |
| (e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table. | | ✓ | ✓ |
| (f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table. | | ✓ | ✓ |

| Common area | Showerheads rating | Toilets rating | Taps rating | Clothes washers rating |
|------------------|-------------------------------|----------------|-------------|----------------------------|
| All common areas | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | no common laundry facility |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified. | | ✓ | ✓ |
| (b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. | | ✓ | ✓ |
| (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. | ✓ | ✓ | ✓ |

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408



| Common area | Common area ventilation system | | Common area lighting | | |
|------------------|--------------------------------|--------------------------------|-------------------------------------|-------------------------------|-----------------------------|
| | Ventilation system type | Ventilation efficiency measure | Primary type of artificial lighting | Lighting efficiency measure | Lighting control system/BMS |
| Fitness | air conditioning system | time clock or BMS controlled | light-emitting diode | manual on / manual off | no |
| Lift car (No. 2) | - | - | light-emitting diode | connected to lift call button | no |
| Toilets | ventilation (supply + exhaust) | time clock or BMS controlled | light-emitting diode | motion sensors | no |
| Lounge | air conditioning system | time clock or BMS controlled | light-emitting diode | motion sensors | no |
| Lobby | air conditioning system | none i.e., continuous | light-emitting diode | motion sensors | no |
| Spa and Sauna | ventilation (supply + exhaust) | time clock or BMS controlled | light-emitting diode | motion sensors | no |

| Central energy systems | Type | Specification |
|------------------------|--------------------------------------|--|
| Sauna (No. 1) | Heating source: electric resistance | Efficiency measure: stand-by function |
| Lift (No. 2) | gearless traction with V V V F motor | Number of levels (including basement): 5 |

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CONSENT NO. DA22/0408



3. Commitments for Residential flat buildings - Building C

(a) Dwellings



| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table). | ✓ | ✓ | |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it. | | ✓ | ✓ |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below. | | ✓ | ✓ |
| (e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. | | ✓ | ✓ |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. | ✓ | ✓ | |
| (f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both). | | ✓ | |
| (g) The pool or spa must be located as specified in the table. | ✓ | ✓ | |
| (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified. | ✓ | ✓ | ✓ |

| Dwelling no. | Fixtures | | | | | Appliances | | Individual pool | | | | Individual spa | | |
|---------------|-------------------------------|-----------------------------|------------------|-------------------|-------------------------------|---------------------|------------------|---------------------|------------|---------------|-------------|---------------------|-----------|------------|
| | All shower-heads | All toilet flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish-washers | Volume (max volume) | Pool cover | Pool location | Pool shaded | Volume (max volume) | Spa cover | Spa shaded |
| All dwellings | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | 4 star | no | 4 star | 4 star | - | - | - | - | - | - | - |

| Alternative water source | | | | | | | | | |
|--------------------------|----------------------------------|------|---|----------------------|-----------------------|--------------------|-------------|------------|--|
| Dwelling no. | Alternative water supply systems | Size | Configuration | Landscape connection | Toilet connection (s) | Laundry connection | Pool top-up | Spa top-up | |
| All dwellings | No alternative water supply | - | - THIS IS THE PLAN REFERRED TO IN DEVELOPMENT | - | - | - | - | - | |
| All dwellings | No alternative water supply | - | - CONSENT NO. DA22/0408 | - | - | - | - | - | |

 **TWEED SHIRE COUNCIL**

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system. | ✓ | ✓ | ✓ |
| (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table. | | ✓ | ✓ |
| (d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms. | | ✓ | ✓ |
| (e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting. | | ✓ | ✓ |
| (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight. | ✓ | ✓ | ✓ |
| (g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: <ul style="list-style-type: none"> (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. | | ✓ | |
| (h) The applicant must install in the dwelling: | | | |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; | | ✓ | |
| (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and | | ✓ | ✓ |
| (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. | | ✓ | |
| (i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated". | | ✓ | |

| | Hot water | Bathroom ventilation system | | Kitchen ventilation system | | Laundry ventilation system | |
|---------------|----------------------------------|--|----------------------|--|----------------------|--|----------------------|
| Dwelling no. | Hot water system | Each bathroom | Operation control | Each kitchen | Operation control | Each laundry | Operation control |
| All dwellings | Central hot water system (No. 1) | individual fan, ducted to façade or roof | interlocked to light | individual fan, ducted to façade or roof | manual switch on/off | individual fan, ducted to façade or roof | interlocked to light |

| | Cooling | | Heating | | Artificial lighting | | | | | | Natural lighting | | |
|--|---------------------------------------|---------------------------------------|---------------------------------------|---------------------------------------|----------------------------|-------------------------------|----------------|-----------------------|----------------|----------------|-------------------------------|--------------|----|
| Dwelling no. | living areas | bedroom areas | living areas | bedroom areas | No. of bedrooms &/or study | No. of living &/or diningroom | Each kitchen | All bathrooms/toilets | Each laundry | All hallways | No. of bathrooms &/or toilets | Main kitchen | |
| 4DL4 | Central cooling system (No. 1)(zoned) | Central cooling system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | 4(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |
| 3CL1, 3CL2, 3CL3, 3CL4, 3DL1, 3DL2, 3DL3, 3DL4 | Central cooling system (No. 1)(zoned) | Central cooling system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | Central heating system (No. 1)(zoned) | 3(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |
| All other dwellings | Central cooling | Central cooling | Central heating | Central heating | 2(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |



| | Cooling | | Heating | | Artificial lighting | | | | | | Natural lighting | |
|--------------|-----------------------|-----------------------|-----------------------|-----------------------|----------------------------|-------------------------------|--------------|------------------------|--------------|--------------|-------------------------------|--------------|
| Dwelling no. | living areas | bedroom areas | living areas | bedroom areas | No. of bedrooms &/or study | No. of living &/or diningroom | Each kitchen | All bathrooms/ toilets | Each laundry | All hallways | No. of bathrooms &/or toilets | Main kitchen |
| | system (No. 1)(zoned) | system (No. 1)(zoned) | system (No. 1)(zoned) | system (No. 1)(zoned) | | | | | | | | |

| | Individual pool | | Individual spa | | Appliances & other efficiency measures | | | | | | | | |
|---------------|---------------------|-------|--------------------|-------|--|---------------|------------------------------|------------|----------------|---------------|---|--|--|
| Dwelling no. | Pool heating system | Timer | Spa heating system | Timer | Kitchen cooktop/ oven | Refrigerator | Well ventilated fridge space | Dishwasher | Clothes washer | Clothes dryer | Indoor or sheltered clothes drying line | Private outdoor or unsheltered clothes drying line | |
| All dwellings | - | - | - | - | induction cooktop & electric oven | not specified | yes | 4 star | 4 star | 5 star | yes | no | |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|--|-----------------|
| (a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development. | | THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408 | |
| (b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| (c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below. | |  TWEED SHIRE COUNCIL | |
| (d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case. | ✓ | | |
| (e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | | ✓ | |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (g) Where there is an in-slab heating or cooling system, the applicant must: <ul style="list-style-type: none"> (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. | ✓ | ✓ | ✓ |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| (i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. | ✓ | | |
| (j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | | ✓ | |

| Dwelling no. | Thermal loads | |
|--------------|---|---|
| | Area adjusted heating load (in MJ/m ² /yr) | Area adjusted cooling load (in MJ/m ² /yr) |
| 2IL1 | 10.9 | 35.4 |
| 2IL2 | 4.5 | 35.7 |
| 2IL3 | 3.5 | 34.9 |
| 2JL1 | 8.3 | 17.3 |
| 2JL2 | 1.4 | 11.1 |
| 2JL3 | 1.1 | 11.3 |
| 2JL4 | 5.2 | 20.1 |
| 2KL1 | 11.8 | 32.1 |
| 2KL2 | 6.1 | 33.6 |
| 2KL3 | 3.9 | 31.3 |
| 2KL4 | 11.2 | 40 |
| 2LL1 | 11.8 | 37.6 |
| 2LL2 | 5.3 | 31.5 |
| 2LL3 | 5.6 | 29.1 |
| 2LL4 | 12.8 | 28 |
| 2ML1 | 12.2 | 23.8 |
| 2ML2 | 4.9 | 16.8 |
| 2ML3 | 5.2 | 15.9 |



| Dwelling no. | Thermal loads | |
|---------------------|---|---|
| | Area adjusted heating load (in MJ/m ² /yr) | Area adjusted cooling load (in MJ/m ² /yr) |
| 2ML4 | 9.8 | 29.3 |
| 2NL1 | 12.7 | 26.2 |
| 2NL2 | 5.3 | 21.8 |
| 2NL3 | 5.8 | 20.8 |
| 3CL1 | 9.1 | 26.1 |
| 3CL2 | 3.5 | 19.2 |
| 3CL3 | 3.8 | 18.5 |
| 3CL4 | 10.7 | 21.6 |
| 3DL1 | 15.2 | 37.3 |
| 3DL2 | 10.8 | 30.6 |
| 3DL3 | 11.5 | 29.3 |
| 3DL4 | 19.1 | 24.5 |
| All other dwellings | 11.8 | 29.2 |

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TO IN DEVELOPMENT
CONSENT NO. DA22/0408



(b) Common areas and central systems/facilities

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table. | | ✓ | ✓ |
| (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table. | ✓ | ✓ | ✓ |
| (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table. | ✓ | ✓ | |
| (d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. | | ✓ | |
| (e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table. | | ✓ | ✓ |
| (f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table. | | ✓ | ✓ |

| Common area | Showerheads rating | Toilets rating | Taps rating | Clothes washers rating |
|------------------|-------------------------------|----------------|-------------|----------------------------|
| All common areas | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | no common laundry facility |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified. | | ✓ | ✓ |
| (b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. | | ✓ | ✓ |
| (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. | ✓ | ✓ | ✓ |

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TO IN DEVELOPMENT
CONSENT NO. DA22/0408



| | Common area ventilation system | | Common area lighting | | |
|------------------|--------------------------------|--------------------------------|-------------------------------------|-------------------------------|-----------------------------|
| Common area | Ventilation system type | Ventilation efficiency measure | Primary type of artificial lighting | Lighting efficiency measure | Lighting control system/BMS |
| Lift car (No. 3) | - | - | light-emitting diode | connected to lift call button | no |

| Central energy systems | Type | Specification |
|------------------------|--------------------------------------|--|
| Lift (No. 3) | gearless traction with V V V F motor | Number of levels (including basement): 5 |

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CONSENT NO. DA22/0408



4. Commitments for Residential flat buildings - Building D

(a) Dwellings



| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table). | ✓ | ✓ | |
| (c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it. | | ✓ | ✓ |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below. | | ✓ | ✓ |
| (e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. | | ✓ | ✓ |
| (e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. | ✓ | ✓ | |
| (f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both). | | ✓ | |
| (g) The pool or spa must be located as specified in the table. | ✓ | ✓ | |
| (h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified. | ✓ | ✓ | ✓ |

| Dwelling no. | Fixtures | | | | | Appliances | | Individual pool | | | | Individual spa | | |
|---------------|-------------------------------|-----------------------------|------------------|-------------------|-------------------------------|---------------------|------------------|---------------------|------------|---------------|-------------|---------------------|-----------|------------|
| | All shower-heads | All toilet flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish-washers | Volume (max volume) | Pool cover | Pool location | Pool shaded | Volume (max volume) | Spa cover | Spa shaded |
| All dwellings | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | 4 star | no | not specified | not specified | - | - | - | - | - | - | - |

| Alternative water source | | | | | | | | | |
|--------------------------|----------------------------------|------|---------------|---|-----------------------|--------------------|-------------|------------|--|
| Dwelling no. | Alternative water supply systems | Size | Configuration | Landscape connection | Toilet connection (s) | Laundry connection | Pool top-up | Spa top-up | |
| All dwellings | No alternative water supply | - | - | THIS IS THE PLAN REFERRED TO IN DEVELOPMENT | - | - | - | - | |
| All dwellings | No alternative water supply | - | - | CONSENT NO. DA22/0408 | - | - | - | - | |

| (ii) Energy | TWEED SHIRE COUNCIL | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|---------------------|------------------|------------------------------|-----------------|
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | | |
| (b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system. | ✓ | ✓ | ✓ | ✓ |
| (c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table. | | ✓ | ✓ | ✓ |
| (d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms. | | ✓ | ✓ | ✓ |
| (e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting. | | ✓ | ✓ | ✓ |
| (f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight. | ✓ | ✓ | ✓ | ✓ |
| (g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: | | | | |
| (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and | | ✓ | | |
| (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump. | | ✓ | | |
| (h) The applicant must install in the dwelling: | | | | |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; | | ✓ | |
| (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and | | ✓ | ✓ |
| (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. | | ✓ | |
| (i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated". | | ✓ | |

| | Hot water | Bathroom ventilation system | | Kitchen ventilation system | | Laundry ventilation system | |
|---------------|------------------------|--|----------------------|--|----------------------|--|----------------------|
| Dwelling no. | Hot water system | Each bathroom | Operation control | Each kitchen | Operation control | Each laundry | Operation control |
| All dwellings | electric instantaneous | individual fan, ducted to façade or roof | interlocked to light | individual fan, ducted to façade or roof | manual switch on/off | individual fan, ducted to façade or roof | interlocked to light |

| | Cooling | | Heating | | Artificial lighting | | | | | | Natural lighting | |
|---------------|--|--|--|--|----------------------------|-------------------------------|----------------|-----------------------|----------------|----------------|-------------------------------|--------------|
| Dwelling no. | living areas | bedroom areas | living areas | bedroom areas | No. of bedrooms &/or study | No. of living &/or diningroom | Each kitchen | All bathrooms/toilets | Each laundry | All hallways | No. of bathrooms &/or toilets | Main kitchen |
| All dwellings | 1-phase airconditioning / EER 3.0 - 3.5(zoned) | 3(dedicated) | 1(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | yes(dedicated) | 0 | no |

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408



| | Individual pool | | Individual spa | | Appliances & other efficiency measures | | | | | | | | |
|---------------|---------------------|-------|--------------------|-------|--|---------------|------------------------------|---------------|----------------|---------------|---|--|--|
| Dwelling no. | Pool heating system | Timer | Spa heating system | Timer | Kitchen cooktop/ oven | Refrigerator | Well ventilated fridge space | Dishwasher | Clothes washer | Clothes dryer | Indoor or sheltered clothes drying line | Private outdoor or unsheltered clothes drying line | |
| All dwellings | - | - | - | - | induction cooktop & electric oven | not specified | yes | not specified | not specified | not specified | yes | no | |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|--|-----------------|
| (a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development. | | THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408 | |
| (b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| (c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below. | |  TWEED SHIRE COUNCIL | |
| (d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case. | ✓ | | |
| (e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | | ✓ | |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |
| (g) Where there is an in-slab heating or cooling system, the applicant must: | ✓ | ✓ | ✓ |
| (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or | | | |
| (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. | | | |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| (i) The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. | ✓ | | |

| (iii) Thermal Comfort | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| (j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | | ✓ | |

| Thermal loads | | |
|---------------------|---|---|
| Dwelling no. | Area adjusted heating load (in MJ/m ² /yr) | Area adjusted cooling load (in MJ/m ² /yr) |
| 3G1L1 | 9.7 | 32.7 |
| 3G4L1 | 9.4 | 30.8 |
| 3G5L1 | 15.1 | 33 |
| All other dwellings | 8.5 | 31.4 |

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408



(b) Common areas and central systems/facilities

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table. | | ✓ | ✓ |
| (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table. | ✓ | ✓ | ✓ |
| (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table. | ✓ | ✓ | |
| (d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. | | ✓ | |
| (e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table. | | ✓ | ✓ |
| (f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table. | | ✓ | ✓ |

| Common area | Showerheads rating | Toilets rating | Taps rating | Clothes washers rating |
|------------------|-------------------------------|----------------|-------------|----------------------------|
| All common areas | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | no common laundry facility |

| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified. | | ✓ | ✓ |
| (b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. | | ✓ | ✓ |
| (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. | ✓ | ✓ | ✓ |

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408



7. Commitments for common areas and central systems/facilities for the development (non-building specific)

(a) Common areas and central systems/facilities

| (i) Water | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table. | | ✓ | ✓ |
| (b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table. | ✓ | ✓ | ✓ |
| (c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table. | ✓ | ✓ | |
| (d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table. | | ✓ | |
| (e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table. | | ✓ | ✓ |
| (f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table. | | ✓ | ✓ |

| Common area | Showerheads rating | Toilets rating | Taps rating | Clothes washers rating |
|------------------|-------------------------------|----------------|-------------|----------------------------|
| All common areas | 4 star (> 6 but <= 7.5 L/min) | 4 star | 4 star | no common laundry facility |

| Central systems | Size | Configuration | Connection (to allow for...) |
|-------------------------------|--------------------|---|------------------------------|
| Swimming pool (No. 1) | Volume: 200.00 kLs | Location: Other Pool shaded: no | - |
| Fire sprinkler system (No. 1) | - | So that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed. | - |

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408



| Central systems | Size | Configuration | Connection (to allow for...) |
|--|---------|---|--|
| Central water tank - rainwater or stormwater (No. 1) | 5000.00 | <p>To collect run-off from at least:</p> <ul style="list-style-type: none"> - 3405.7 square metres of roof area of buildings in the development - 0.00 square metres of impervious area in the development - 0.00 square metres of garden/lawn area in the development - 0.00 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system). | <p>- irrigation of 1252.47 square metres of common landscaped area on the site</p> <p>THIS IS THE PLAN REFERRED TO IN DEVELOPMENT CONSENT NO. DA22/0408</p> |



| (ii) Energy | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| (a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified. | | ✓ | ✓ |
| (b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified. | | ✓ | ✓ |
| (c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table. | ✓ | ✓ | ✓ |

| Common area | Common area ventilation system | | Common area lighting | | |
|------------------------|--------------------------------|-----------------------------------|-------------------------------------|-----------------------------|------------------------------|
| | Ventilation system type | Ventilation efficiency measure | Primary type of artificial lighting | Lighting efficiency measure | Lighting control system/ BMS |
| Car park area | ventilation (supply + exhaust) | carbon monoxide monitor + VSD fan | light-emitting diode | motion sensors | no |
| Bike Store | ventilation (supply + exhaust) | carbon monoxide monitor + VSD fan | light-emitting diode | motion sensors | no |
| Bin Rooms | air conditioning system | - | light-emitting diode | motion sensors | no |
| Plant or service rooms | ventilation (supply + exhaust) | none i.e., continuous | light-emitting diode | manual on / manual off | no |
| MSSB + Comms | air conditioning system | none i.e., continuous | light-emitting diode | manual on / manual off | no |
| Stairs | no mechanical ventilation | - | light-emitting diode | motion sensors | no |
| Store Rooms | air conditioning system | time clock or BMS controlled | light-emitting diode | motion sensors | no |
| Hallway | no mechanical ventilation | - | light-emitting diode | motion sensors | no |

| Central energy systems | Type | Specification |
|----------------------------------|------------------------------------|--|
| Swimming pool (No. 1) | Heating source: electric heat pump | Pump controlled by timer: yes |
| Central hot water system (No. 1) | electric heat pump – air sourced | Piping insulation (ringmain & supply risers): (a) Piping external to building: R0.6 (~25 mm); (b) Piping internal to building: R0.6 (~25 mm) |
| Central heating system (No. 1) | variable refrigerant volume units | Energy source: electric driven compressor + air sourced evaporator Unit efficiency medium – COP 3.5 – 5.5 |
| Central cooling system (No. 1) | variable refrigerant volume units | Energy source: electric driven compressor Heat rejection method: air cooled condenser Unit efficiency (min): medium – COP 3.5 – 5.5 |
| Alternative energy supply | Photovoltaic system | Rated electrical output (min): 110.00 peak kW |
| Other | - | - |

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408



Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

THIS IS THE PLAN REFERRED
TO IN DEVELOPMENT
CONSENT NO. DA22/0408

